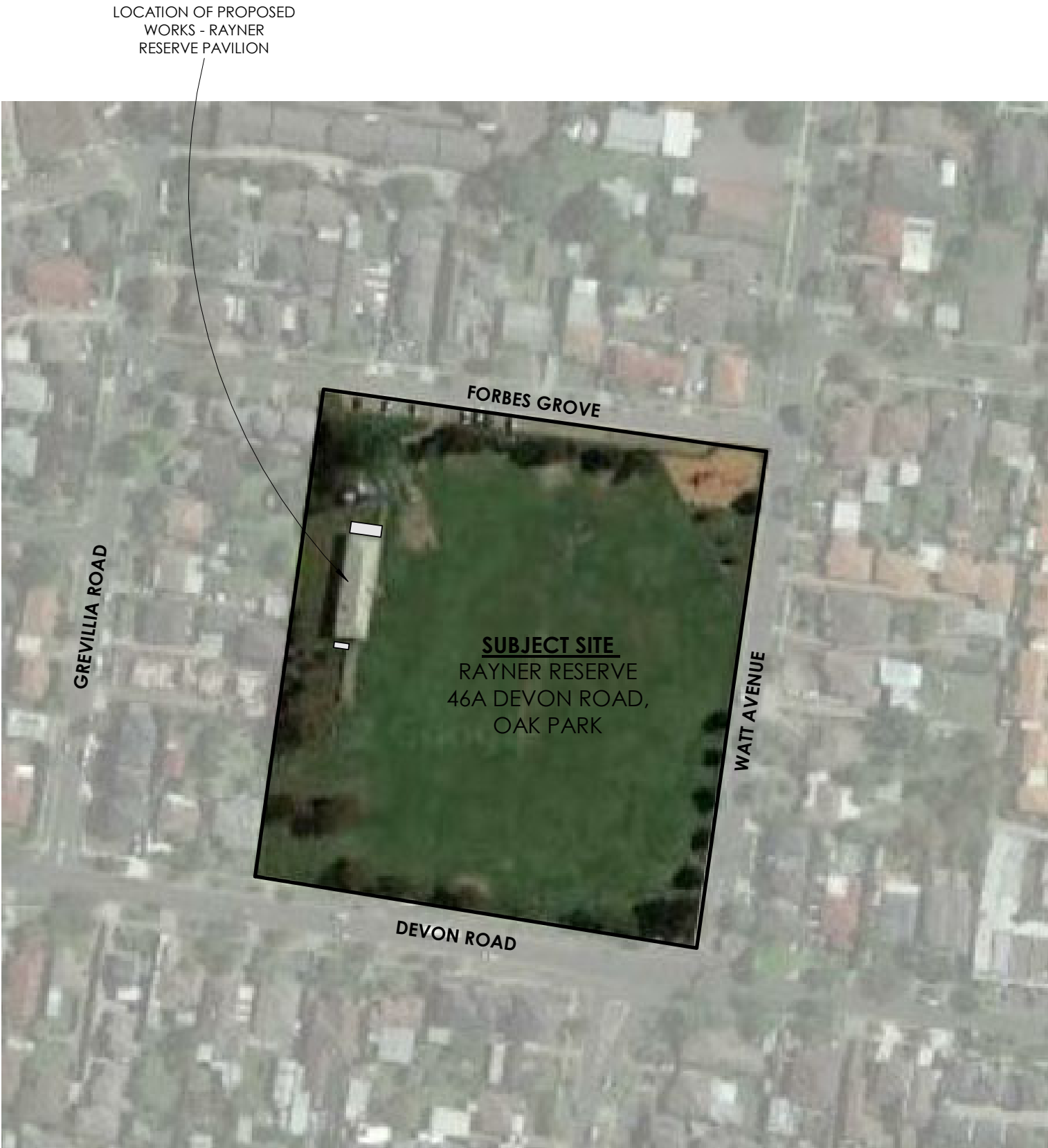


RAYNER RESERVE PAVILION REFURBISHMENT

DETAILED DESIGN  
46A DEVON ROAD, OAK PARK



ARTIST'S IMPRESSION



LOCATION PLAN  
NTS

DRAWING LIST		
SHEET NO.	SHEET NAME	REVISION
DD A0.01	COVER PAGE & LOCATION PLAN	A
DD A0.02	GENERAL NOTES	A
DD A1.01	EXISTING SITE & FLOOR PLANS	A
DD A1.02	EXISTING ELEVATIONS	A
DD A1.03	EXISTING PHOTOS	A
DD A1.04	DEMOLITION PLANS	A
DD A1.05	DEMOLITION ELEVATIONS	A
DD A2.01	PROPOSED SITE & FLOOR PLANS	A
DD A3.01	PROPOSED ELEVATIONS	A
DD A4.01	PROPOSED SECTIONS	A
DD A5.01	PROPOSED ROOF & FINISHES PLANS	A
DD A6.01	SCHEDULES	A
DD A8.01	CHANGE ROOM & CLUB ROOM AMENITIES DETAILS	A
DD A8.02	ACCESSIBLE BATHROOM PLAN	A
DD A8.03	ACCESSIBLE BATHROOM ELEVATIONS	A
DD A8.04	PUBLIC ACCESSIBLE TOILET DETAILS	A
DD A8.05	FIRST AID AND UMPIRE ROOM DETAILS	A
DD A8.06	DOOR CIRCULATIONS	A
DD A8.07	PLAYER ENTRY SCREEN DETAILS	A

PRELIMINARY ISSUE

A	19/09/23	CLIENT REVIEW
PROJECT		
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK		
CLIENT		
MERRI-BEK CITY COUNCIL		
SHEET		
COVER PAGE & LOCATION PLAN		
DATE	19/09/23	
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**CBD**  
CONSTRUCTION & BUILDING DESIGN PTY LTD  
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DP-AD: 1177



STANDARD DRAWING NOTES

**GENERAL**  
ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT BE LIMITED TO, THE AUSTRALIAN BUILDING REGULATIONS 2018, THE NATIONAL CONSTRUCTION CODE SERIES 2019 (BCA VOLUME 1) AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN, UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 1.

ALL MATERIALS AND CONSTRUCTION PRACTICES SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA, WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL SCHEDULES AND SPECIFICATIONS COMPLETED BY THE DESIGNER, DRAWINGS AND DETAILS BY ANY OTHER CONSULTANTS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

SITE PLAN MEASUREMENTS IN METRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SERVICE AUTHORITY REQUIREMENTS.

BUILDERS TO NOTE

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDING FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

**EASEMENTS**  
THE BUILDER SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION & DEPTH OF ALL SERVICES WITHIN OR NEAR EASEMENTS BEFORE PROCEEDING WITH ANY WORKS IN THE IMMEDIATE PROXIMITY (WITHIN 2000mm) OF EASEMENTS.

THE BUILDER IS NOT TO PROCEED WITH ANY WORKS OVER EASEMENTS WITHOUT PRIOR WRITTEN CONSENT FROM RELEVANT COUNCIL & SERVICE AUTHORITIES.

**SETOUT**  
THE BUILDER IS RESPONSIBLE FOR VERIFYING THE SET-OUT OF ALL PROPOSED WORKS

COMMENCEMENT OF WORKS WILL MEAN FULL ACCEPTANCE OF THE ACCURACY OF TITLE BOUNDARIES & SITE CONDITIONS

WHERE SITE LEVELS ARE PROVIDED THE BUILDER IS TO CHECK & CONFIRM THEM BEFORE PROCEEDING WITH WORKS, REPORT ANY DISCREPANCIES OR CONCERNS TO THIS OFFICE FOR CLARIFICATION

**BRICKWORK**  
ALL MASONRY WORK AND STONERWORK TO COMPLY WITH AS 3700 - 2018 AND ALL OTHER RELEVANT STANDARDS.

PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600 MM CTRS IN EACH DIRECTION AND WITHIN 300MM OF ARTICULATION JOINTS.

SPACING OF THE WALL TIES TO TOP AND SIDES OF OPENINGS IS TO BE HALVED.

ALL BRICK PIERS TO BE BONDED EVERY FIFTH COURSE.

MAXIMUM WALL HEIGHT FOR BRICK WALLS CONSTRUCTED OF SINGLE SKIN WITH ENGAGED PIERS IS TO BE 3000mm.

PROVIDE CONSTRUCTION JOINTS BELOW ONE SIDE OF WINDOW OPENINGS; IN STRAIGHT UNBROKEN LENGTHS OF BRICKWORK WHICH ARE MORE THAN 6.0M IN LENGTH; AND AT NO MORE THAN 10.0M INTERVALS OR 5.0M INTERVALS FOR ARTICULATED BRICK WALLS.

PROVIDE APPROVED DAMP-PROOF COURSES IN THE LOCATIONS AND METHODS IN ACCORDANCE WITH AS 2904 - 2015.

FORM WEEP HOLES BY LEAVING OPEN PERP-ENDS AT LESS THAN 1000MM CENTRES, BUT AT INCREMENTS TO SUIT THE STANDARD DIMENSIONS IF THE MASONRY. WEEP HOLES SHALL BE LOCATED IN THE COURSE ABOVE THE FLASHINGS.

**VERTICAL ARTICULATION JOINTS**  
VERTICAL ARTICULATION JOINTS ARE TO BE PROVIDED AT EVERY 6M CENTRES, AND WHERE OPENINGS ARE MORE THAN 900X900 AT NOT MORE THAN 5M CENTRES.

**STEEL**  
MINIMUM CORROSION PROTECTION FOR STRUCTURAL STEEL MEMBERS NOT BUILT INTO A MASONRY WALL FOR A MODERATE ENVIRONMENT: (EXTERNAL)  
OPTION 1 – 2 COATS ALKYD PRIMER  
OPTION 2 – 2 COATS ALKYD GLOSS  
OPTION 3 – HOT DIP GALVANISE 300G/M2 MIN.  
OPTION 4 – HOT DIP GALVANISE 100G/M2 MIN. PLUS  
a. 2 COATS SOLVENT BASED VINYL PRIMER; OR  
b. 2 COATS VINYL GLOSS ALKYD

WHEN NOT SPECIFIED BY THE STRUCTURAL ENGINEER, ANGLE LINTELS SHOULD BE PROVIDED TO OPENINGS SUPPORTING BRICKWORK IN ACCORDANCE WITH **FIGURE 3.3.3.5 OF THE B.C.A.** ALL EXTERNAL LINTELS TO BE HOT DIP GALVANISED. A STRUCTURAL ENGINEER MUST BE CONSULTED & SPECIFY STEEL LINTELS TO OPENINGS CARRYING CONCENTRATED OR POINT ROOF LOADS.

SITE CLASSIFICATION  
SITE CLASSIFICATION TO AS 2870 - 2011: **CLASS P**  
REFER TO SOIL REPORT NO.: **6101**  
BY: **E2E DESIGN GROUP**  
REFER TO SOIL REPORT FOR PROJECT SPECIFIC RECOMMENDATIONS REGARDING MINIMUM FOUNDING DEPTHS FOR PROPOSED METHOD OF CONSTRUCTION.

**STRUCTURAL ENGINEERING**  
COMPUTATIONS TO BUILDING REGULATION 2018, REGULATION 126  
REFER TO STRUCTURAL ENGINEER'S DRAWINGS JOB NO.: **6101**  
BY: **E2E DESIGN GROUP**

**FOOTINGS**  
FOOTINGS TO BE IN ACCORDANCE WITH AS 2870 - 2011, REFER TO THE STRUCTURAL ENGINEERS DRAWINGS AND COMPUTATIONS FOR FURTHER DETAILS.

CONCRETE TO BE N20 GRADE UNLESS NOTED OTHERWISE.

FOOTINGS ARE NOT TO ENCROACH THE TITLE BOUNDARIES AND EASEMENT LINES.

**DRAINAGE**  
STORMWATER DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3 - 2018

SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.

ALL NEW STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITY'S APPROVAL.

90MM DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000MM C/C AND AT EACH CHANGE OF DIRECTION.

LAY NO PIPES CLOSER THAN 600mm FROM BUILDING LINE. INCREASE THIS AS NECESSARY TO AVOID UNDERMINING OF ANY BUILDING'S FOOTINGS. ALWAYS COMPLY WITH 45 DEGREE ANGLE OF REPOSE FROM ANY FOOTINGS.

THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN  
100MM UNDER SOIL  
50MM UNDER PAVED OR CONCRETE AREAS  
100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS  
75MM UNDER REINFORCED CONCRETE DRIVEWAYS

SURFACE WATER MUST BE DIVERTED AWAY FROM THE BUILDING AS FOLLOWS:  
A) THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE GRADED TO GIVE A SLOPE NOT LESS THAN:  
I) .25MM OVER THE FIRST 1M FROM THE BUILDING IN LOW RAINFALL INTENSITY AREAS FOR SURFACES THAT ARE IMPERMEABLE; OR  
II) 50MM OVER THE FIRST 1M FROM THE BUILDING IN ANY OTHER CASE  
B) THE HEIGHT OF THE SLAB ON GROUND ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THAN:  
I) 100MM ABOVE FINISHED GROUND LEVEL IN LOW RAINFALL INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS; OR  
II) 50MM ABOVE IMPERMEABLE AREAS THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH A); OR  
III) 150MM IN ANY OTHER CASE  
C) THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING OR ENTERING UNDER THE BUILDING.

THE BASE OF TRENCHES SHALL BE SLOPED AWAY FROM THE BUILDING. TRENCHES SHALL BE BACK FILLED WITH CLAY IN THE TOP 300 MM WITHIN 1.5M OF THE BUILDING. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED FULL DEPTH WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM. WHERE PIPES PASS UNDER THE FOOTING SYSTEM, THE TRENCH SHALL BE BACKFILLED FULL DEPTH WITH CLAY TO ACT AS A BARRIER TO THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM. ALTERNATELY, A PLASTIC MEMBRANE ACROSS THE CROSS SECTION OF THE TRENCH TAPED TO THE PIPE AND KEYED INTO THE SIDE AND BASE OF THE TRENCH MAY BE USED.

BUILDINGS ON HIGHLY OR EXTREMELY REACTIVE SITES SHALL BE PROVIDED WITH A SYSTEM OF PLUMBING DETAILED IN ACCORDANCE WITH THE FOLLOWING:

PENETRATIONS OF EDGE BEAMS OF A RAFT AND PERIMETER STRIP FOOTING SHALL BE AVOIDED WHERE PRACTICAL, BUT WHERE NECESSARY SHALL BE DETAILED TO ALLOW FOR MOVEMENT. CLOSED CELL POLYETHYLENE LAGGING SHALL BE USED AROUND ALL STORMWATER AND SANITARY PLUMBING DRAIN PIPE PENETRATIONS THROUGH FOOTINGS. THE LAGGING SHALL BE A MINIMUM OF 20MM THICK OF CLASS H1 SITES AND 40MM THICK OF CLASS H2 SITES AND CLASS E SITES. VERTICAL PENETRATIONS DO NOT REQUIRE LAGGING. NOTE: SLEEVES ALLOWING EQUIVALENT MOVEMENT MAY BE USED AS AN ALTERNATIVE TO THE LAGGING.

DRAINS ATTACHED TO OR EMERGING FROM UNDERNEATH THE BUILDING SHALL INCORPORATE FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FOOTING AND COMMENCING WITH 1M OF THE BUILDING PERIMETER TO ACCOMMODATE A TOTAL RANGE OF DIFFERENTIAL MOVEMENT IN ANY DIRECTION EQUAL TO THE ESTIMATE CHARACTERISTIC SURFACE MOVEMENT OF THE SITE (YS). IN THE ABSENCE OF SPECIFIC DESIGN GUIDANCE, THE FITTINGS OR OTHER DEVICES THAT ARE PROVIDED TO ALLOW FOR THE MOVEMENT SHALL BE SITED AT THE MID POSITION FOR THEIR RANGE OF POSSIBLE MOVEMENT AT THE TIME OF INSTALLATION, SO AS TO ALLOW FOR MOVEMENT EQUAL TO 0.5YRS IN THE ANY DIRECTION FROM THE INITIAL SETTING. THIS REQUIREMENT APPLIES TO ALL STORMWATER AND SANITARY PLUMBING DRAINS AND SANITARY PIPES.

DRAINAGE REQUIREMENTS FOR MODERATELY, HIGHLY AND EXTREMELY REACTIVE SITES, THE BASE OF TRENCHES SHALL BE SLOPED AWAY FROM THE BUILDING. TRENCHES SHALL BE BACKFILLED WITH CLAY IN THE TOP 300MM WITHIN 1.5M OF THE BUILDING. THE CLAY USED FOR BACKFILLING SHALL BE COMPACTED. WHERE PIPES PASS UNDER THE FOOTINGS SYSTEM, THE TRENCH SHALL BE BACKFILLED FULL DEPTH WITH CLAY OR CONCRETE TO RESTRICT THE INGRESS OF WATER BENEATH THE FOOTING SYSTEM. ALTERNATELY, A PLASTIC MEMBRANE ACROSS THE CROSS SECTION OF THE TRENCH, TAPED TO THE PIPE AND KEYED INTO THE SIDE AND BASE OF THE TRENCH MAY BE USED. SUBSURFACE DRAINS TO REMOVE GROUNDWATER SHALL NOT BE USED WITHIN 1.5M OF THE BUILDING UNLESS DESIGNED IN ACCORDANCE WITH ENGINEERING PRINCIPLES.

SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.

DOWNPIPES TO BE LOCATED AT MAXIMUM 1200mm SPACINGS & WITHIN 1200mm OF ANY VALLEY JUNCTIONS.

SECURE ALL DOWNPIPES TO WALLS WITH STRAPS/BRACKETS @ 1800mm MAXIMUM CENTRES.

CONNECT ALL DOWNPIPES TO APPROVED STORMWATER SYSTEM THAT IS CONNECTED TO LEGAL POINT OF DISCHARGE.

**SHEET ROOFING/WALL CLADDING**  
SHEET ROOFING AND WALL CLADDING TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 1562.1 - 2018 AS/NZS 4200 - 2017 PARTS 1 AND 2.

ALL SARKING TYPE MATERIALS USED FOR WEATHERPROOFING OF ROOFS AND WALLS ARE TO COMPLY WITH AS/NZS 4200 - 2017 PARTS 1 AND 2.

**MECHANICAL VENTILATION**  
MECHANICAL VENTILATION OR AIR-CONDITIONING OF ROOMS TO BE PROVIDED WITH A SYSTEM COMPLYING WITH AS1668.2 AND AS/NZS 3666.1 AS AMENDED. EXHAUST OUTLETS TO BE LOCATED NO CLOSER THAN 6.0M TO FRESH AIR INLETS.

EXHAUST FANS ARE TO DISCHARGE AIR DIRECTLY TO OUTSIDE AIR AT A RATE OF AT LEAST 25L/S

**WET AREAS**  
ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH AS 3740 - 2010.

PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECTED SURFACE FINISH TO FLOOR WITHIN 1500MM OF AN UNENCLOSED SHOWER AND SAME TO WALL TO 1800MM ABOVE FLOORS AND 150MM ABOVE BATH, SINKS, BASINS AND TROUGH SPLASH BACKS AND THE LIKE.

**ENERGY RATING & INSULATION**  
THE ENERGY EFFICIENCY REQUIREMENTS FOR CLASS 2 – 9 BUILDINGS TO COMPLY WITH PART J BCA AND ACHIEVE THE MINIMUM R-VALUE REQUIREMENTS FOR THE BUILDING FABRIC IN ACCORDANCE WITH THE APPROVED PLANS AS PROVIDED BY THE ACCREDITED ENERGY RATER.

**GLAZING AND WINDOWS**  
ALL WINDOWS TO COMPLY WITH AS 2047 - 2014 AND AS 1288 - 2006.

GLAZING, INCLUDING SAFETY GLAZING, SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH THE BCA PART B1.4 AND AS1288 - 2006.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:  
(I) ALL ROOMS - WITHIN 500MM VERTICAL OF FLOOR LEVEL OR CHECK BCA  
(II) DOORWAY - WITHIN 300MM HORIZONTAL OF ALL DOOR EDGES  
(III) BATHROOMS & ENSUITES - WITHIN 2000MM VERTICAL FROM BATH BASE  
- WITHIN 500MM HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES  
(IV) LAUNDRY - WITHIN 1200MM VERTICAL FROM FLOOR LEVEL AND/OR WITHIN 300MM VERTICAL OF TROUGH

FULL HEIGHT GLAZING THAT COULD BE MISTAKEN AS AN UNOBSTRUCTED OPENING TO BE MARKED FOR THEIR FULL WIDTH WITH A SOLID AND NON-TRANSPARENT CONTRASTING LINE NOT LESS THAN 75MM IN WIDTH AND LOCATED SO THAT THE LOWER EDGE IS NOT LESS THAN 900MM AND NOT MORE THAN 1000MM ABOVE THE FLOOR

WINDOW SIZES NOMINATED ARE NOMINAL ONLY UNO. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. VARIATION TO WINDOW SIZES MAY AFFECT OTHER WORK SUCH AS BRICKWORK, PANEL SIZES AND INTERIOR FINISHES. ALL OPENING SIZES TO BE CHECKED BEFORE MANUFACTURE OF WINDOWS AND DOORS

WINDOWS TO BE FLASHED ALL AROUND

**DOORS**  
ALL DOORS IN A REQUIRED EXIT MUST BE READILY OPENABLE WITHOUT A KEY, BY A SINGLE HANDED DOWNWARD ACTION LOCATED BETWEEN 900mm AND 1100mm FROM FINISHED FLOOR LEVEL OR A SINGLE HAND PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900mm AND 1200mm FROM FINISHED FLOOR LEVEL

ALL DOORS TO ALLOW 850mm CLEAR OPENING WIDTH (MINIMUM DOOR WIDTH 920mm AND MINIMUM UNOBSTRUCTED HEIGHT OF 2m.

EXIT DOORS WHICH SWING AGAINST THE DIRECTION OF EXIT TO BE CAPABLE OF BEING HELD IN THE OPEN POSITION

**ARTIFICIAL LIGHTING**  
ARTIFICIAL LIGHTING TO COMPLY WITH AS/NZS 1680.0 - 2009.

**FIRE**  
PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH AS 2444 - 2001 AND PROVIDED AS LISTED IN THE BCA TABLE E1.6.

ALL PENETRATIONS THROUGH FIRE RATED MEMBERS TO BE SEALED USING FIRE COLLARS OR FIRE SEALS AS APPROPRIATE, IN ACCORDANCE WITH CLAUSE C3.15 BCA.

FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH SPECIFICATION C1.10 IN THE BCA.

**SMOKE DETECTORS**  
SMOKE DETECTORS TO BE INSTALLED AS PER BCA VOL 1 PART E2 AND COMPLY WITH AS 3786 - 2014 AND AS 1670.1 - 2018 AND BE HARDWIRED, AND INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM.

**SWITCHBOARDS**  
ANY ELECTRICAL SWITCHBOARDS LOCATED IN THE PATH OF TRAVEL TO EXITS MUST BE ENCLOSED IN NON COMBUSTIBLE CONSTRUCTION WITH SMOKE PROOF DOORS. ANY OPENINGS MUST BE SUITABLY SEALED AGAINST SMOKE SPREADING FROM THE ENCLOSURE.

SIGNIFICANT SWITCHBOARDS SHALL BE PROVIDED WITH A 5KG CARBON DIOXIDE EXTINGUISHER OR SIMILAR WITH A MIN. CLASSIFICATION 1A:E WITHIN 2 TO 20M FROM THE SIGNIFICANT SWITCHBOARD.

**EMERGENCY LIGHTING**  
EMERGENCY LIGHTING TO BE INSTALLED IN ACCORDANCE WITH THE BCA AND TO COMPLY WITH AS2293

**EXIT LIGHTS**  
"RUNNING MAN" SIGNS MUST BE INSTALLED TO AS 2293.3 - 2018.

**EXIT PATHS**  
ALL PATHS OF TRAVEL TO HAVE MINIMUM 1M WIDTH CLEAR OF ALL PROJECTIONS.

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PRELIMINARY ISSUE

A	19/09/23	Client Review

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46A DEVON ROAD, OAK PARK

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MERRI-BEK CITY COUNCIL

SHEET

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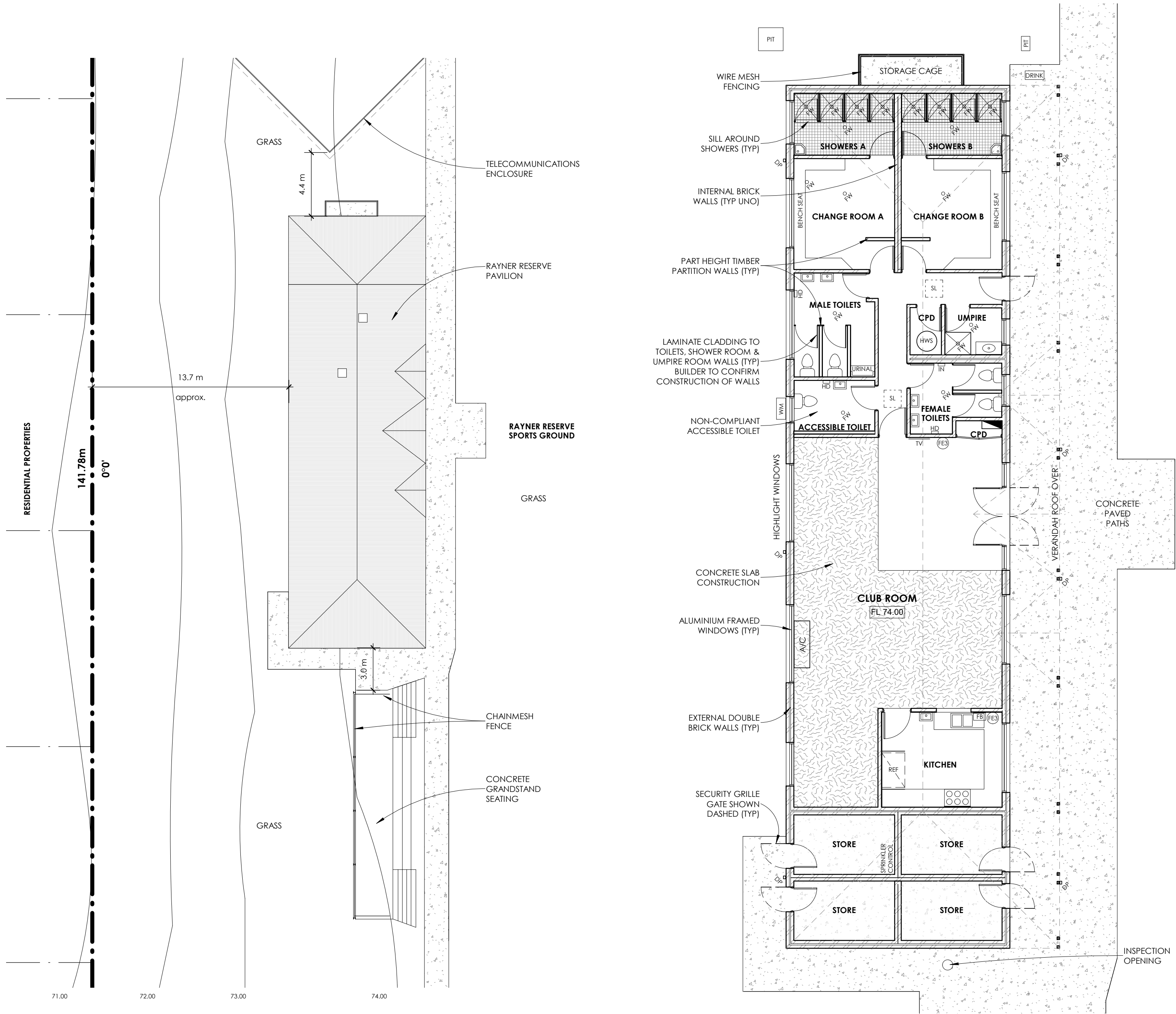
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FLOOR FINISHES LEGEND

- CONCRETE
- CARPET
- VINYL
- TILES

NOTE: REFER TO PROPOSED FINISHES PLAN FOR MORE INFORMATION

AREA ANALYSIS

SHOWERS (x2)	7.5 sqm
CHANGE ROOMS (x2)	13.5 sqm
UMPIRE ROOM	3.2 sqm
MALE TOILET	9.8 sqm
FEMALE TOILET	6.8 sqm
ACCESSIBLE TOILET	4.7 sqm
CLUB ROOM	78.0 sqm
KITCHEN	13.6 sqm
STORES (x4)	7.2 sqm
TOTAL BUILDING AREA	232.9 sqm

LEGEND

- HWS HOT WATER SYSTEM
- HD ELECTRIC HAND DRYER
- IN ELECTRIC INCINERATOR
- FE1 FIRE EXTINGUISHER - WATER
- FE2 FIRE EXTINGUISHER - WET CHEMICAL
- FE3 FIRE EXTINGUISHER - DRY CHEMICAL
- FB FIRE BLANKET
- SWITCHBOARD
- WM WATER METER
- DN DOWNPIPE
- FW FLOOR WASTE
- SL EXISTING SKYLIGHT
- A/C WALL MOUNTED AIR CONDITIONER
- TV WALL MOUNTED TELEVISION

PRELIMINARY ISSUE

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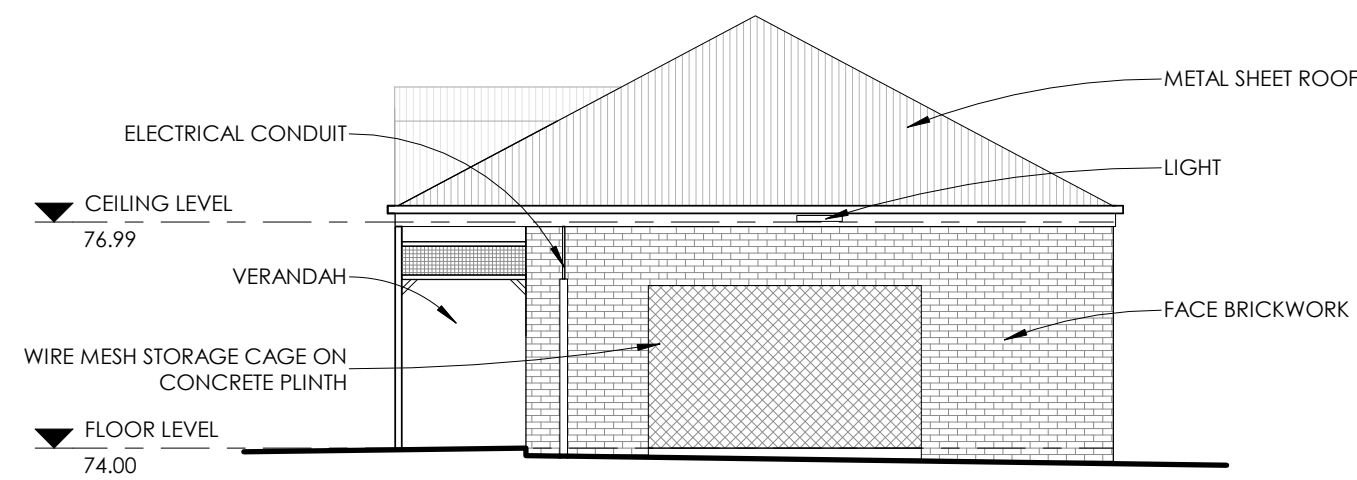
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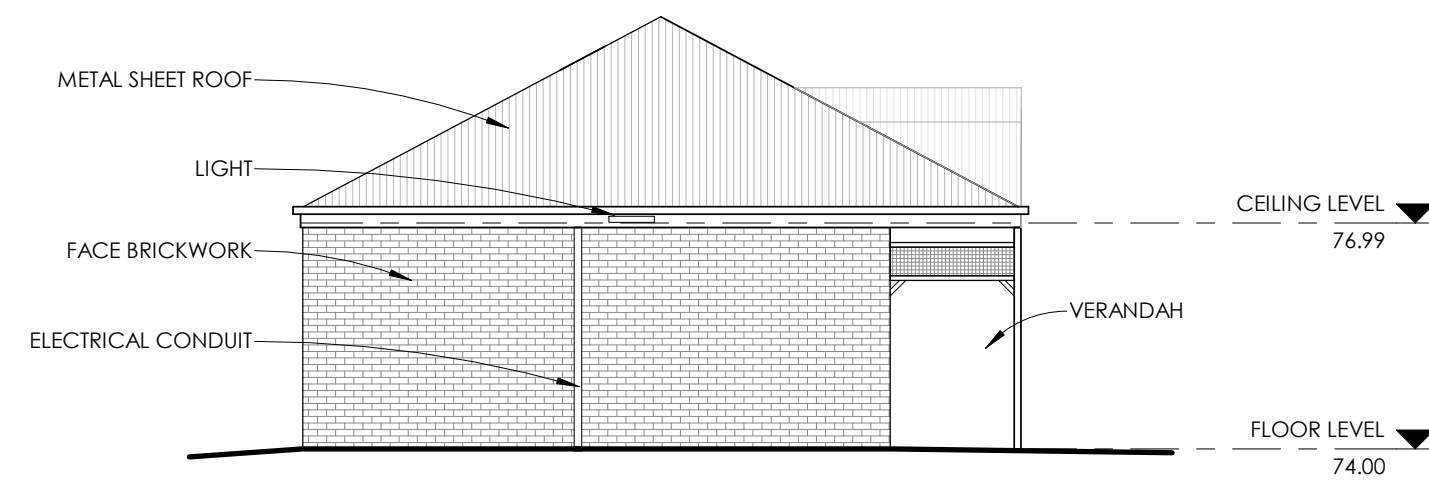
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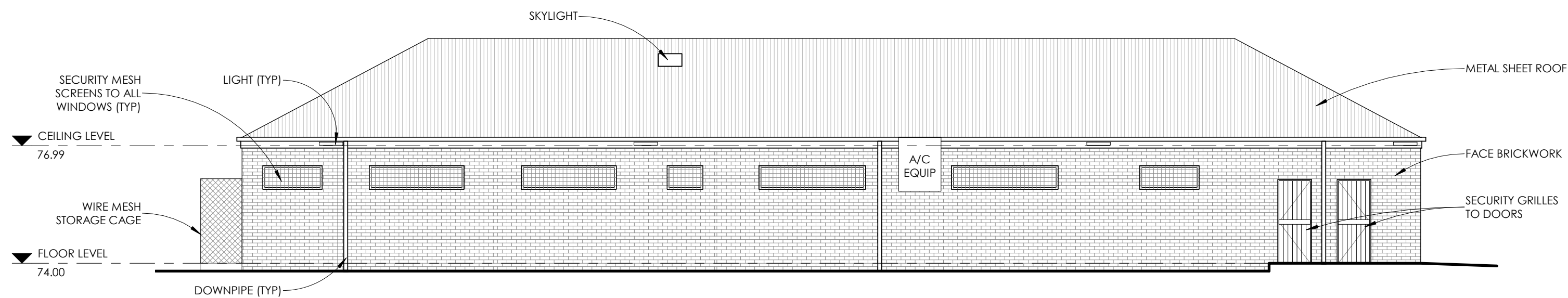
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EXISTING SOUTH ELEVATION

1 : 100



EXISTING WEST ELEVATION

1 : 100

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EXTERNAL



1-3. EAST ELEVATION



4-5. NORTH ELEVATION (SHOWING STORAGE CAGE & TELECOMMS ENCLOSURE)



6. WEST ELEVATION



7. PIT LID TO BE RAISED



8. INSPECTION OPENING TO BE LOWERED



9-11. GRANDSTAND & CONTAINER LOCATION



INTERNAL



15-16. SHOWER ROOM & SILL (TYP)



18-20. MALE TOILET



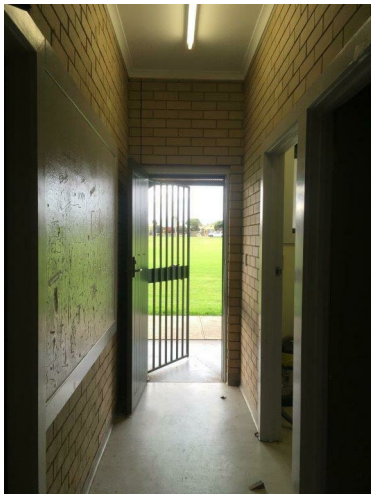
21-22. FEMALE TOILET



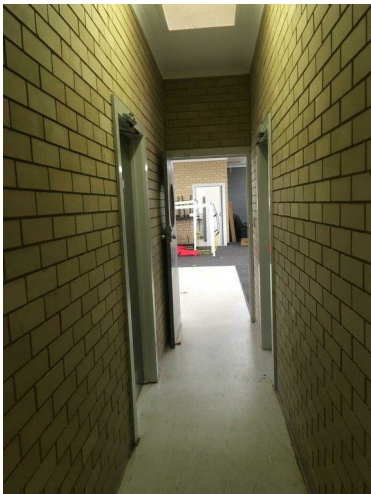
23. UMPIRE ROOM



24. NON-COMPLIANT ACCESSIBLE TOILET



25. PASSAGE LOOKING EAST



26. PASSAGE LOOKING SOUTH



27-28. CLUB ROOM



29. STORE (SOUTH EAST)

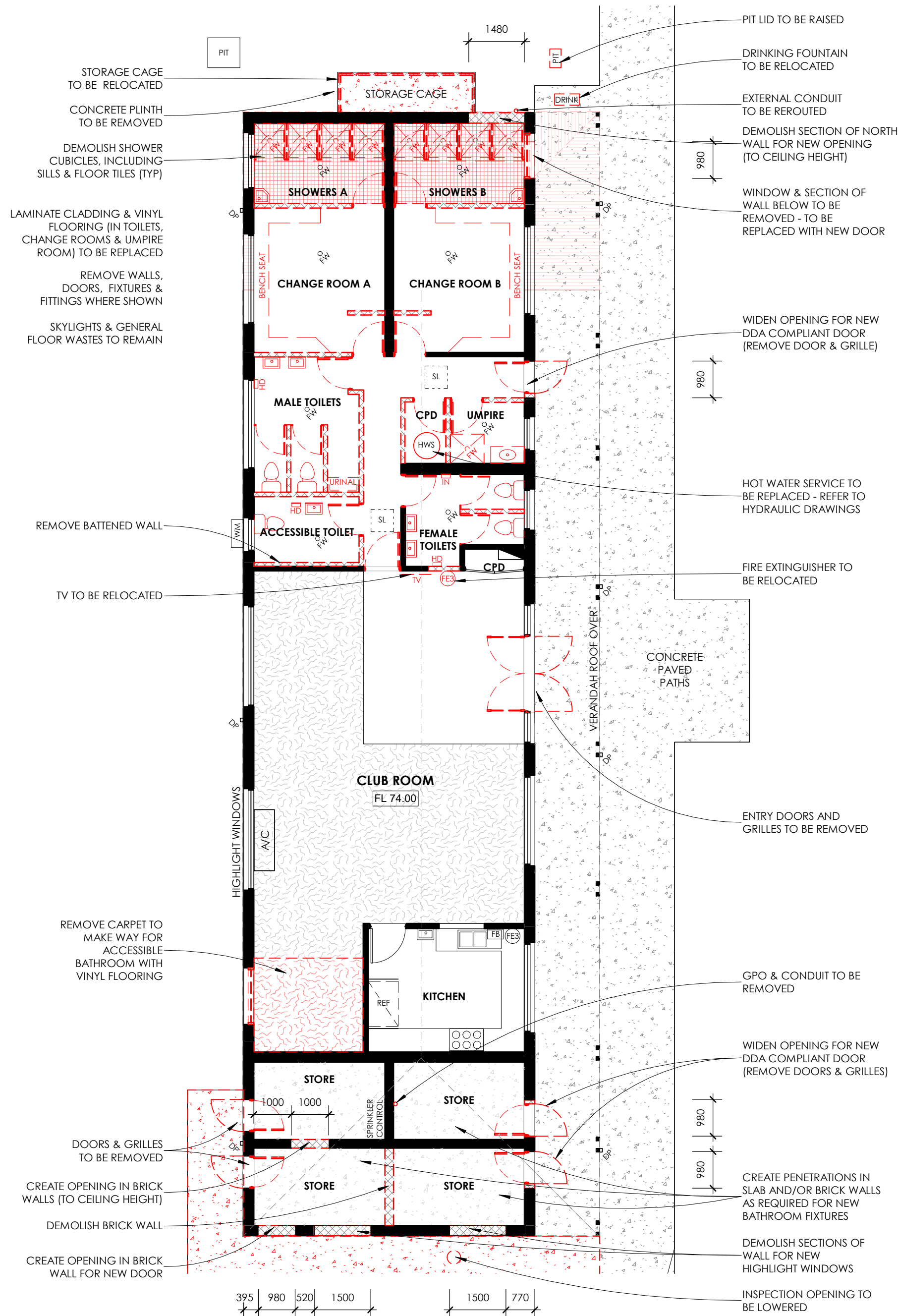


30. STORE (NORTH EAST)

PRELIMINARY ISSUE

A	19/09/23	CLIENT REVIEW
PROJECT		
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK		
CLIENT		
MERRI-BEK CITY COUNCIL		
SHEET		
EXISTING PHOTOS		
DATE	19/09/23	
JOB NUMBER	12229	
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CHECKED BY	MH	
TO SCALE ON	A2	
DRAWING NUMBER	DD A1.03	VERSION NUMBER A
CED		
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DP-AD: 1177		





#### DEMOLITION NOTES FOR COMMERCIAL BUILDINGS

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT BE LIMITED TO, THE BUILDING REGULATIONS 2018, THE NATIONAL CONSTRUCTION CODE SERIES 2019 VOLUME 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN. THESE SPECIFICATIONS SPECIFY ONLY THE MINIMUM STANDARD OF WORK FOR DEMOLITION WORKS, AND ALL WORKMANSHIP AND PRECAUTIONS SHALL BE TO BEST TRADE PRACTICE.

PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES.

DURING THE PROGRESS OF THE DEMOLITION THE WORKS SHALL BE UNDER THE CONTINUOUS SUPERVISION OF THE DEMOLISHER OR OF AN EXPERIENCED FOREMAN AND THE DEMOLITION SHALL BE EXECUTED STOREY BY STOREY COMMENCING AT THE ROOF AND WORKING DOWNWARDS.

THE DEMOLITION MUST NOT BE COMMENCED UNTIL THE PRECAUTIONARY MEASURES HAVE BEEN INSPECTED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR.

THE DEMOLISHER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH, AS REQUIRED BY THE COUNCIL.

NO PART OF ANY EXTERNAL WALL ON OR WITHIN 3.00 METRES OF A STREET ALIGNMENT MAY BE PULLED DOWN EXCEPT DURING THE HOURS THAT THE RELEVANT BUILDING SURVEYOR DIRECTS.

PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR.

DUST CREATING MATERIAL, UNLESS THOROUGHLY DAMPENED DOWN, SHALL NOT BE THROWN OR DROPPED FROM THE BUILDING BUT SHALL BE LOWERED BY HOISTING APPARATUS OR REMOVED BY MATERIAL CHUTES. ALL CHUTES SHALL BE COMPLETELY ENCLOSED AND A DANGER SIGN SHALL BE AT THE DISCHARGE END OF EVERY CHUTE.

ALL PRACTICAL PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF A FRAMED OR PARTLY FRAMED BUILDING IS REMOVED.

DEMOLISHED MATERIAL SHALL NOT BE ALLOWED TO REMAIN ON ANY FLOOR OR STRUCTURE IF THE WEIGHT OF THE MATERIAL EXCEEDS THE SAFE CARRYING LOAD OF THE FLOOR OR STRUCTURE, AND SUCH MATERIAL SHALL NOT BE SO PILED OR STACKED THAT IT WILL ENDANGER WORKMEN OR OTHER PERSONS AND SHALL BE REMOVED AS SOON AS PRACTICABLE FROM THE SITE.

NO WALL, CHIMNEY OR OTHER STRUCTURE OR PART OF A STRUCTURE SHALL BE LEFT UNATTENDED OR UNSUPPORTED IN SUCH A CONDITION THAT IT MAY COLLAPSE DUE TO HIGH WIND OR VIBRATION OR OTHERWISE BECOME DANGEROUS.

BEFORE DEMOLITION IS COMMENCED AND ALSO DURING THE PROGRESS OF SUCH WORKS ALL ELECTRICAL CABLE OR APPARATUS WHICH ARE LIABLE TO BE A SOURCE OF DANGER - OTHER THAN CABLE OR APPARATUS USED FOR THE DEMOLITION WORKS - SHALL BE DISCONNECTED.

ARRANGEMENTS SHALL BE MADE WITH THE RELEVANT ELECTRICAL SUPPLY AUTHORITY FOR THE DISCONNECTION OF ELECTRICAL MANS SUPPLY EXCEPT THAT, WHERE PARTIAL DEMOLITION IS PROPOSED, THE LICENSED ELECTRICAL CONTRACTOR SHALL SATISFY THE RELEVANT ELECTRICAL SUPPLY AUTHORITY THAT THE PORTION OF THE BUILDING TO BE DEMOLISHED HAS BEEN ISOLATED.

THE DEMOLISHER SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF ALL TELECOMMUNICATION SUPPLIES.

THE DEMOLISHER SHALL BE RESPONSIBLE TO CUT AND SEAL ANY STORM WATER, SEWER PIPES, WATER SERVICES, GAS SERVICES AND THE LIKE.

THE POSITION OF CAPPED SEWER AND STORM WATER DRAINS, SEALED OFF WATER SUPPLY LINES, GAS SUPPLY LINES AND THE LIKE ARE TO BE CLEARLY MARKED ON THE SITE.

ANY SEPTIC TANKS ON THE DEMOLITION SITE SHALL BE EMPTIED AND FILLED WITH CLEAN SAND, OR REMOVED ENTIRELY, AND ANY SOAK WELLS, LEACH DRAINS OR SIMILAR APPARATUS SHALL BE REMOVED OR FILLED WITH CLEAN SAND.

ANY SWIMMING POOLS, PONDS OR THE LIKE EITHER ON THE DEMOLITION SITE OR ON THE NEIGHBOURING ALLOTMENTS WHERE AFFECTED BY THE DEMOLITION WORKS SHALL BE ADEQUATELY FENCED AND MADE SAFE, SO AS TO COMPLY WITH AS 1926.1 - PART 1 FENCING FOR SWIMMING POOLS PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORKS.

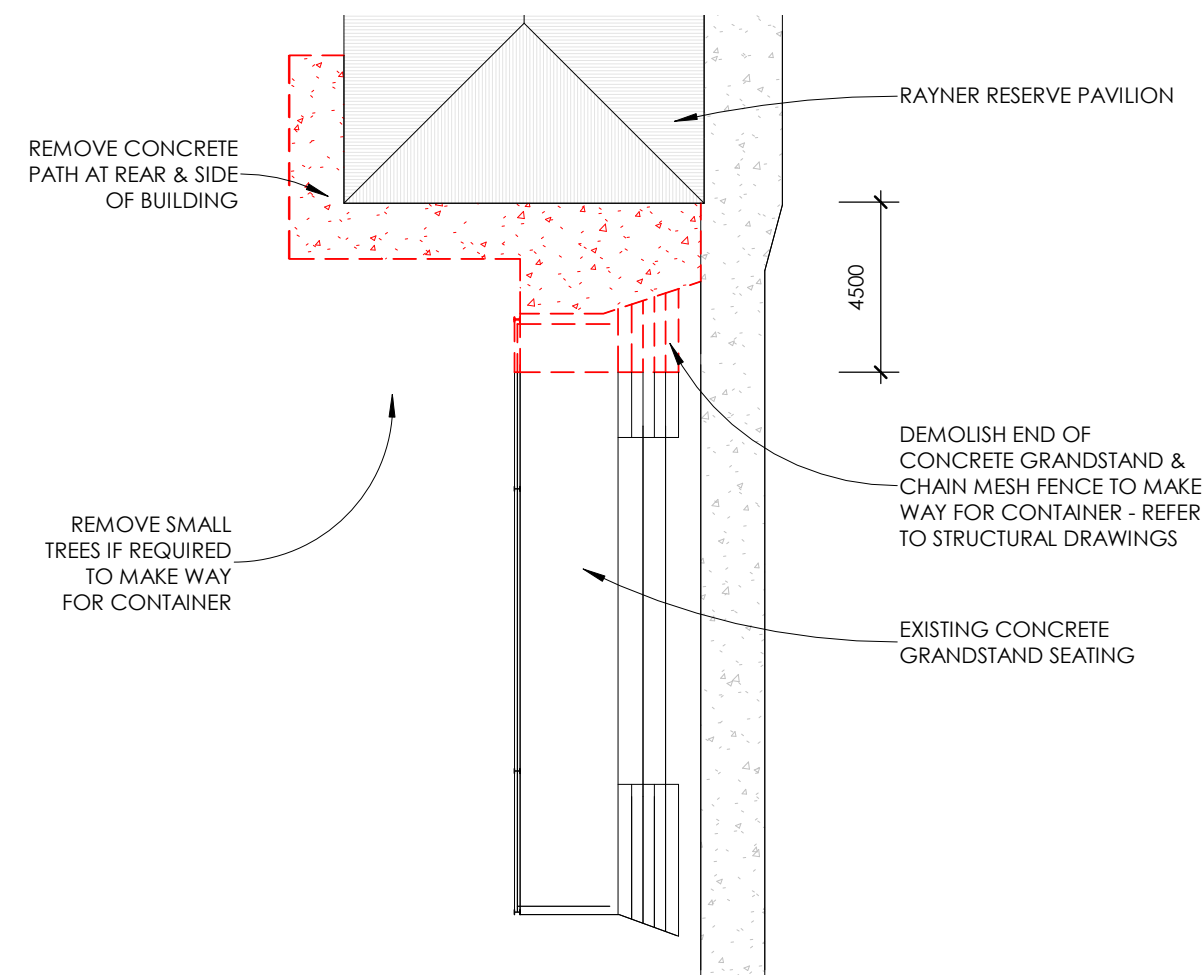
MATERIALS REMOVED OR DISPLACED FROM THE BUILDING SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY AND, BEFORE COMMENCING, WHERE REQUIRED SHALL BE KEPT SPRAYED WITH WATER AS TO PREVENT ANY NUISANCE FROM DUST.

MATERIALS REMOVED OR DISPLACED FROM THE BUILDING BEING DEMOLISHED OR MATERIALS LEFT STANDING SHALL NOT BE BURNED ON THE DEMOLITION SITE.

REMOVAL OF BUILDINGS BY ROAD MUST BE APPROVED BY THE RELEVANT COUNCILS TRAFFIC ENGINEER.

A SITE MANAGEMENT PLAN IS TO BE IMPLEMENTED DURING DEMOLITION WORKS TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH EPA VICTORIA PUBLICATION #275: CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL. PROVIDE 'PROPEX' OR EQUIVALENT SILT FENCES TO THE LOW SIDE OF THE ALLOTMENT AND AROUND SOIL STOCKPILES AND STORM WATER INLET PUMPS/SUMPS AND INSTALL 'SILT STOP' FILTER BAGS OVER ALL STORM WATER ENTRY PITS DURING DEMOLITION WORKS. 'SUPERGRO' OR EQUIVALENT EROSION CONTROL FABRIC TO BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION DURING THE REVEGETATION PERIOD.

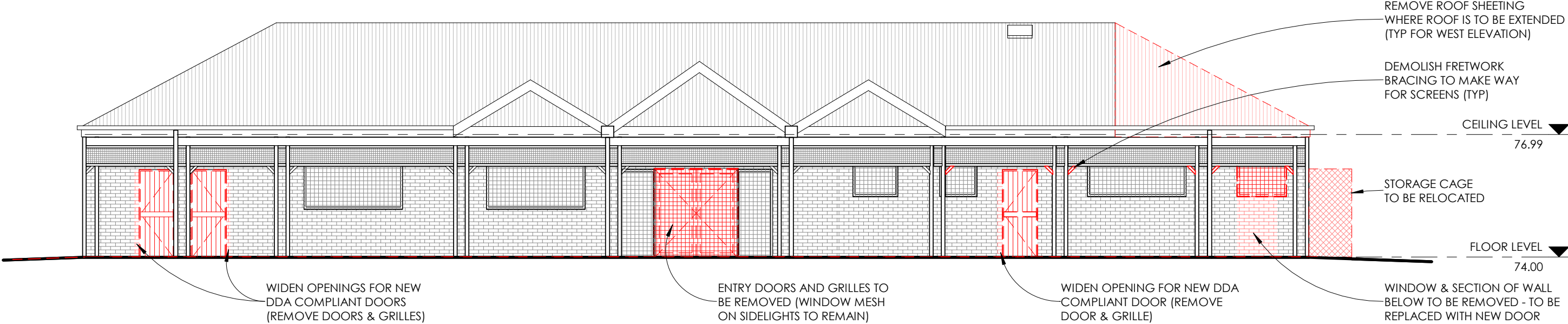
IT IS THE BUILDER'S RESPONSIBILITY TO CARRY OUT AN AUDIT PRIOR TO THE COMMENCEMENT OF ANY WORKS TO DETERMINE IF ASBESTOS IS PRESENT IN THE EXISTING WORKS. WHERE ANY ASBESTOS PRODUCT IS FOUND IN THE PROPOSED WORKS AREA DURING INITIAL INSPECTION OR DURING THE COURSE OF THE DEMOLITION WORKS THE BUILDER SHALL ENGAGE AN AUTHORISED AND REGISTERED CONTRACTOR FOR SAFE REMOVAL AND LAWFUL DISPOSAL.



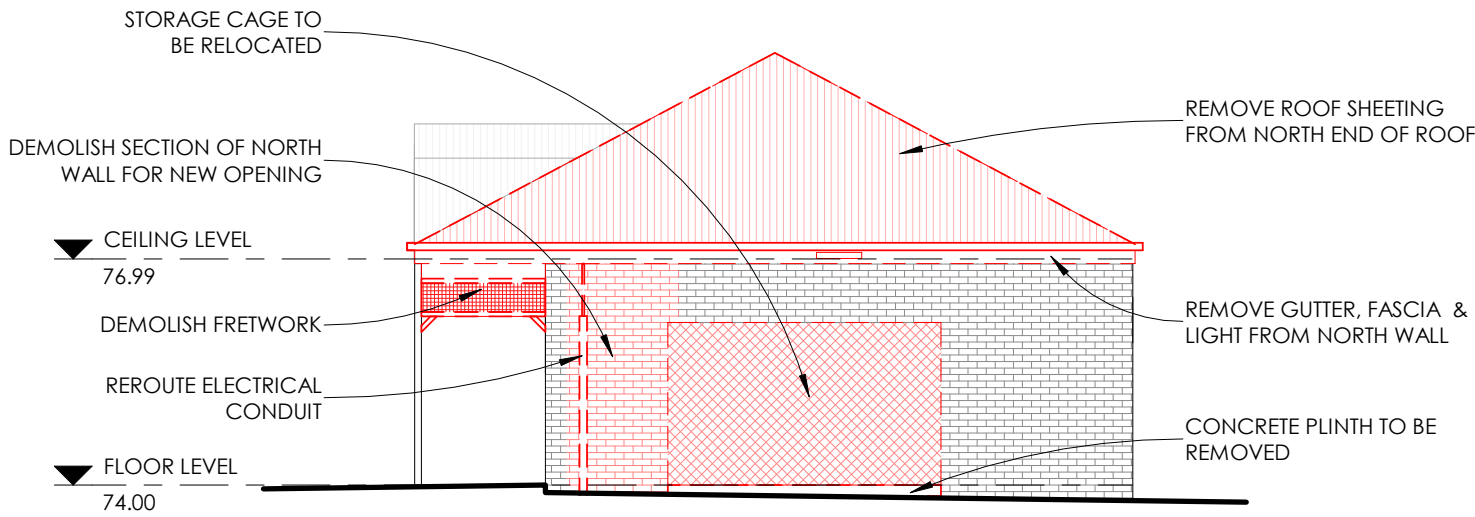
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<b>CLIENT</b>		
MERRI-BEK CITY COUNCIL		
<b>SHEET</b>		
<b>DEMOLITION PLANS</b>		
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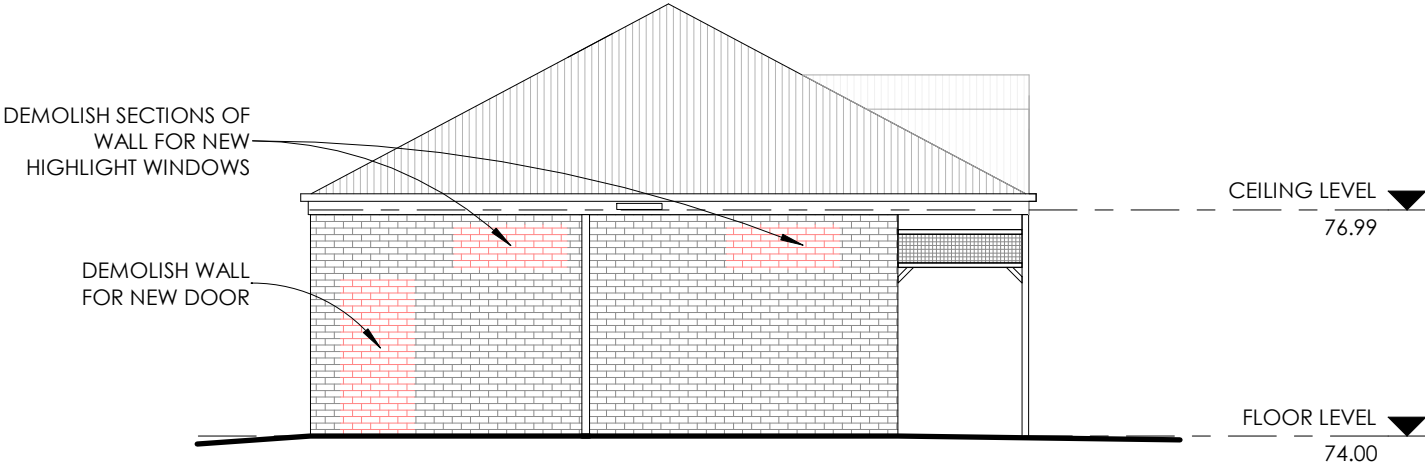




DEMOLITION EAST ELEVATION  
1 : 100



PROPOSED NORTH ELEVATION  
1 : 100



PROPOSED SOUTH ELEVATION  
1 : 100

PRELIMINARY ISSUE

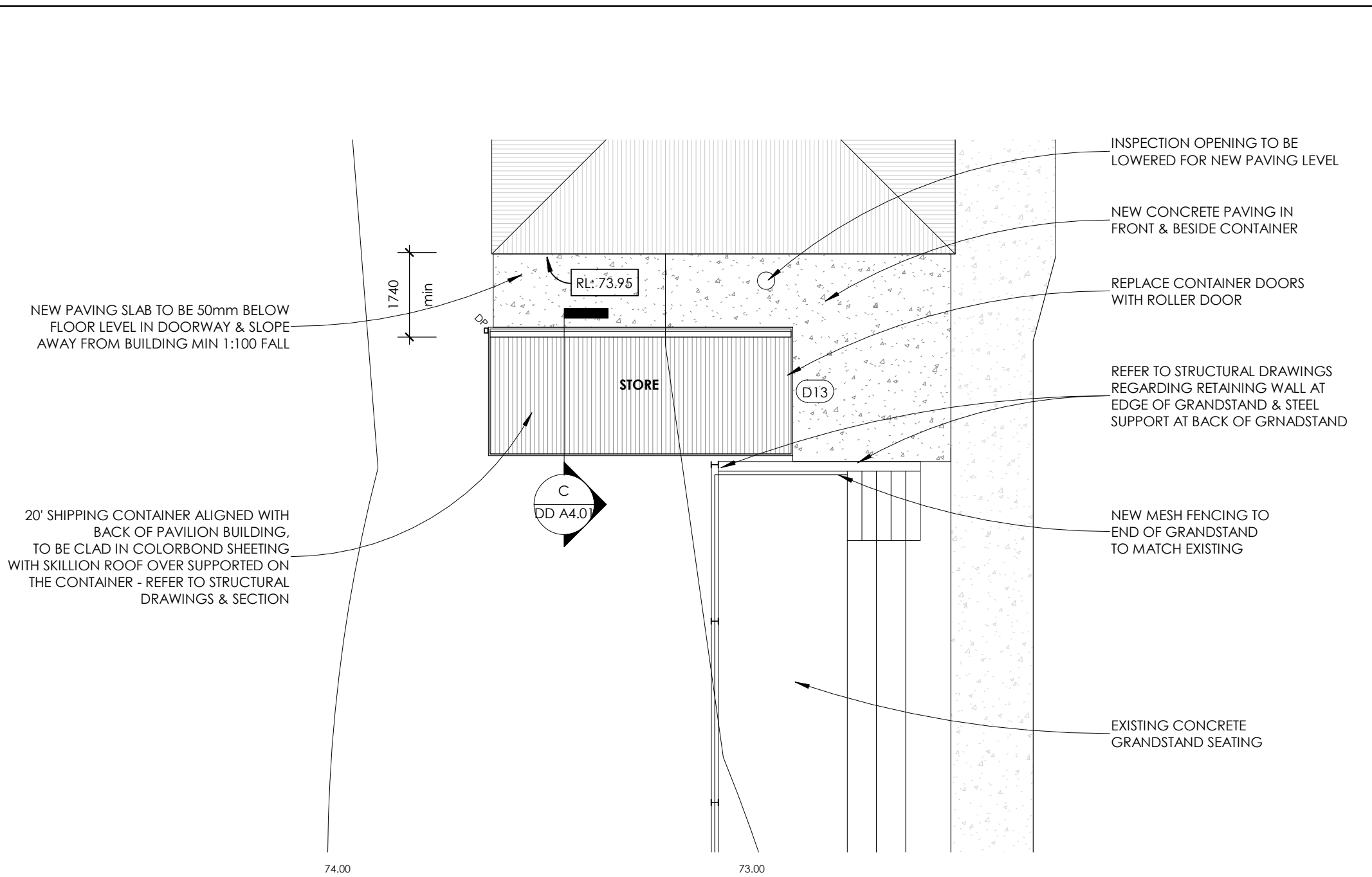
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















# PROPOSED SITE PLAN

1 : 100

## LEGEND

	HOT WATER SYSTEM
	ELECTRIC HAND DRYER
	ELECTRIC INCINERATOR
	FIRE EXTINGUISHER - WATER
	FIRE EXTINGUISHER - WET CHEMICAL
	FIRE EXTINGUISHER - DRY CHEMICAL
	FIRE BLANKET
	SWITCHBOARD
	WATER METER
	DOWNPIPE (GREY = EXISTING)
	FLOOR WASTE (GREY = EXISTING)
	EXISTING SKYLIGHT
	WALL MOUNTED AIR CONDITIONER
	WALL MOUNTED TELEVISION



## AREA ANALYSIS

CHANGE ROOM A (BENCH LENGTH 16m)	26 sqm
CHANGE ROOM B (BENCH LENGTH 14m)	21 sqm
AMENITIES A	16 sqm
AMENITIES B	19 sqm
MALE TOILET	7 sqm
FEMALE TOILET	7 sqm
ACCESSIBLE BATHROOM	7 sqm
CLUB ROOM	70 sqm
KITCHEN	13 sqm
UMPIRE ROOM	16 sqm
ACCESSIBLE TOILET	7 sqm
STORE	14 sqm
FIRST AID	5 sqm
TOTAL BUILDING AREA	256 sqm

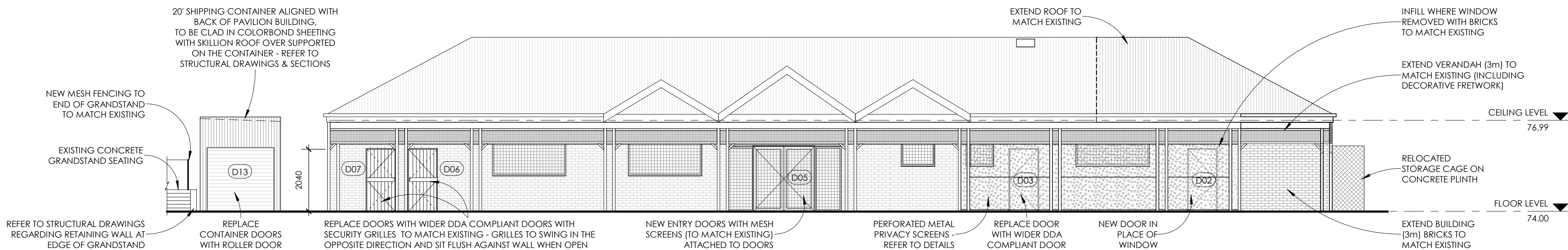
# PROPOSED FLOOR PLAN

1 : 100

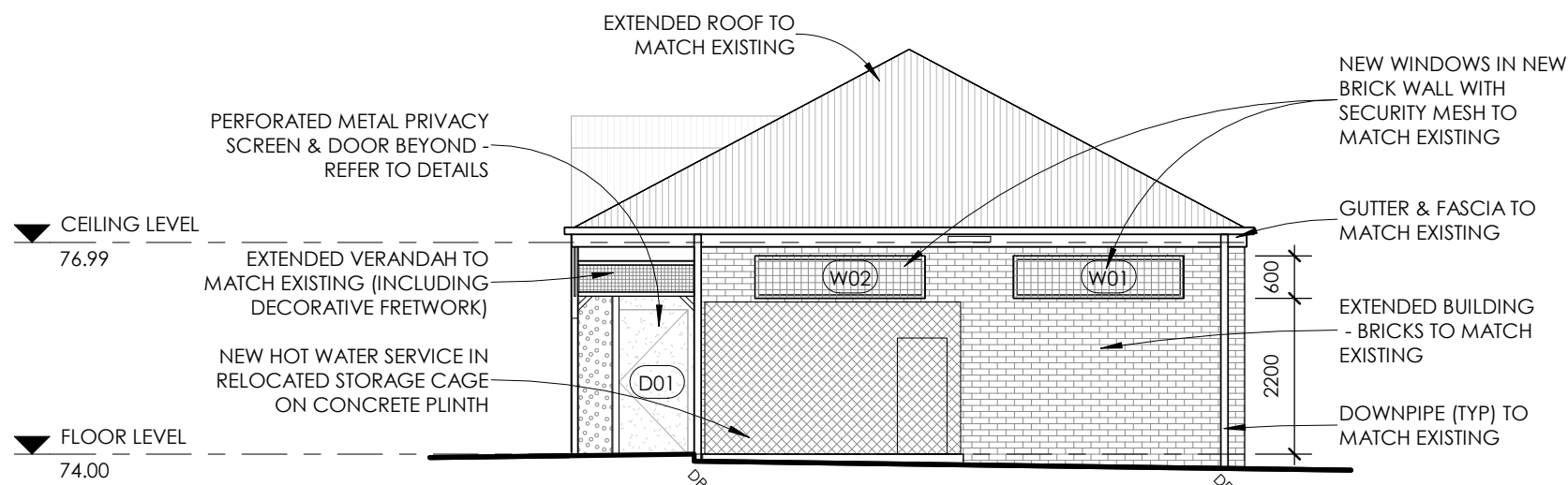
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46A DEVON ROAD, OAK PARK					
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MERRI-BEK CITY COUNCIL					
<b>SHEET</b>					
<b>PROPOSED SITE &amp; FLOOR PLANS</b>					
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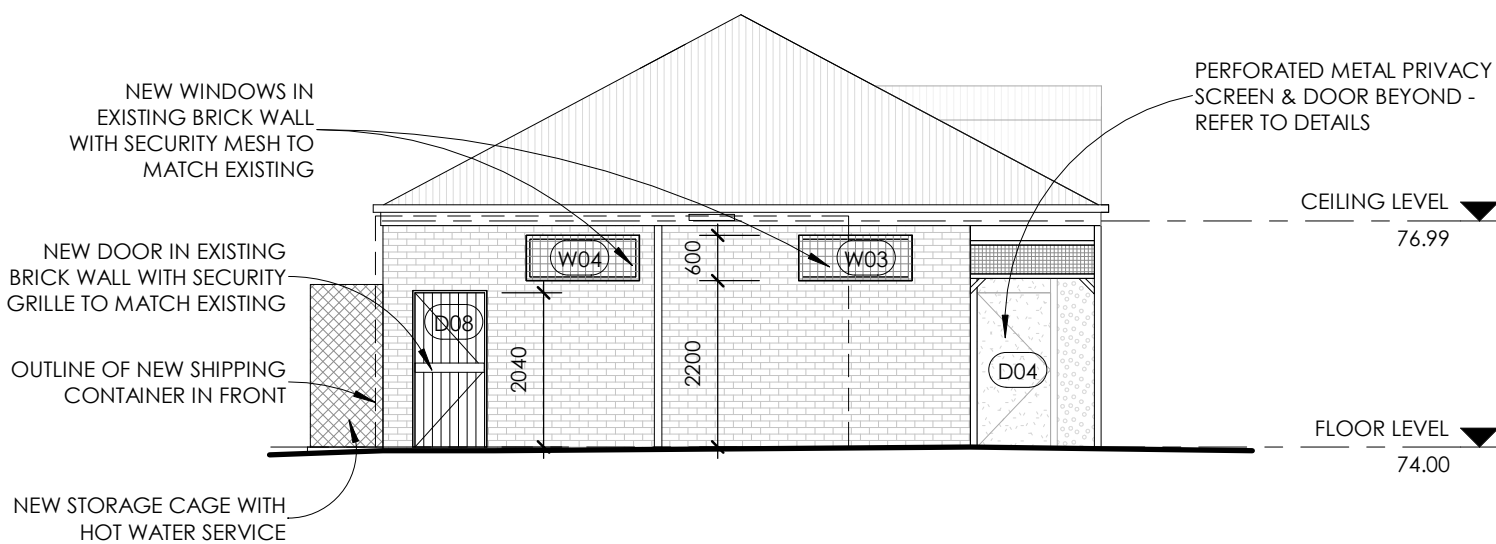




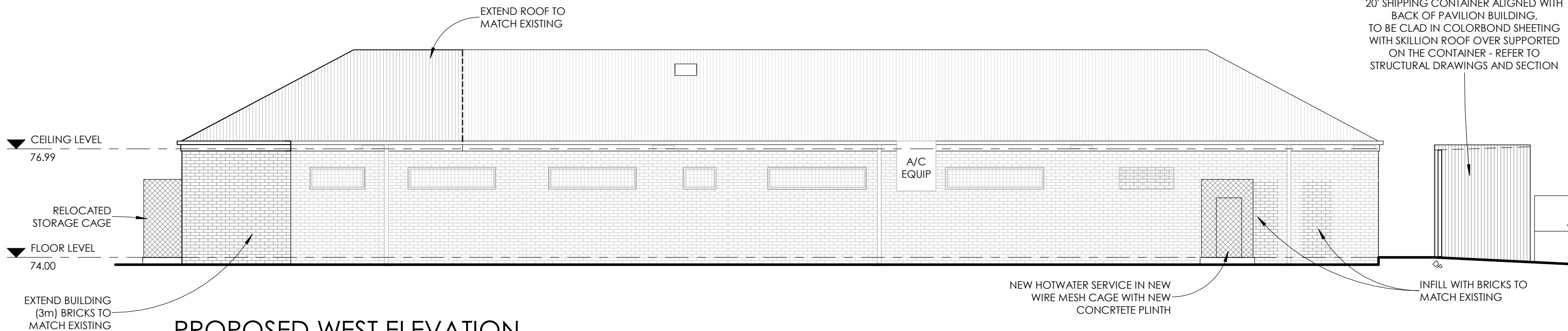
PROPOSED EAST ELEVATION  
1 : 100



PROPOSED NORTH ELEVATION  
1 : 100



PROPOSED SOUTH ELEVATION  
1 : 100

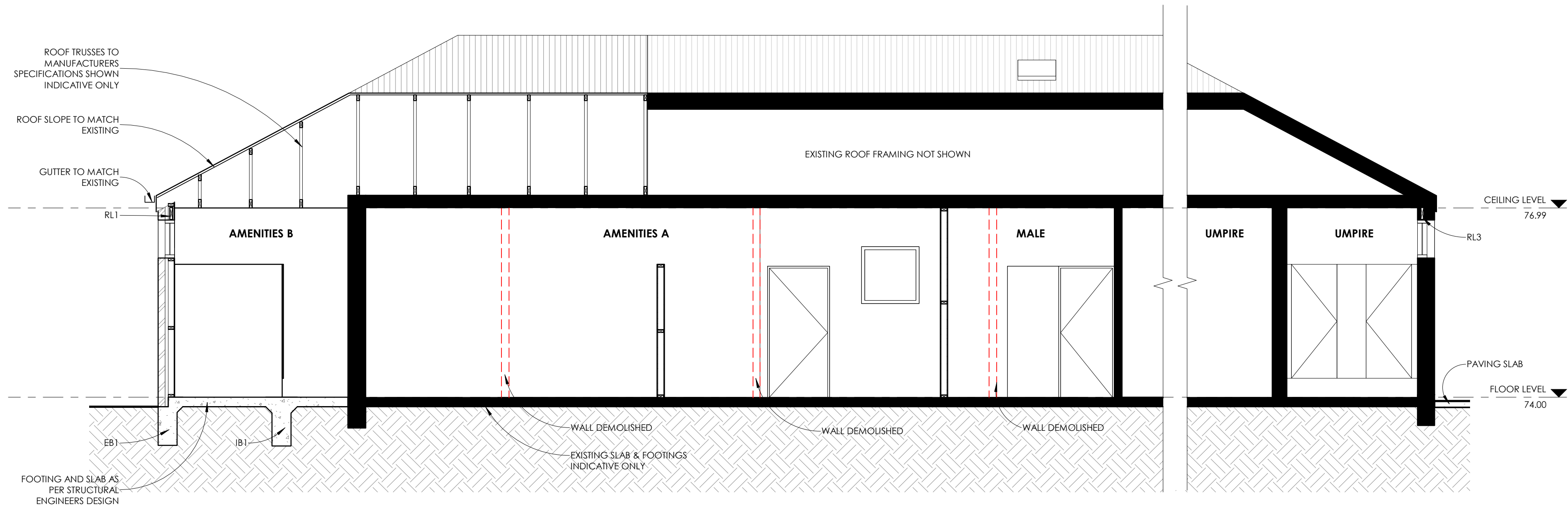


PROPOSED WEST ELEVATION  
1 : 100

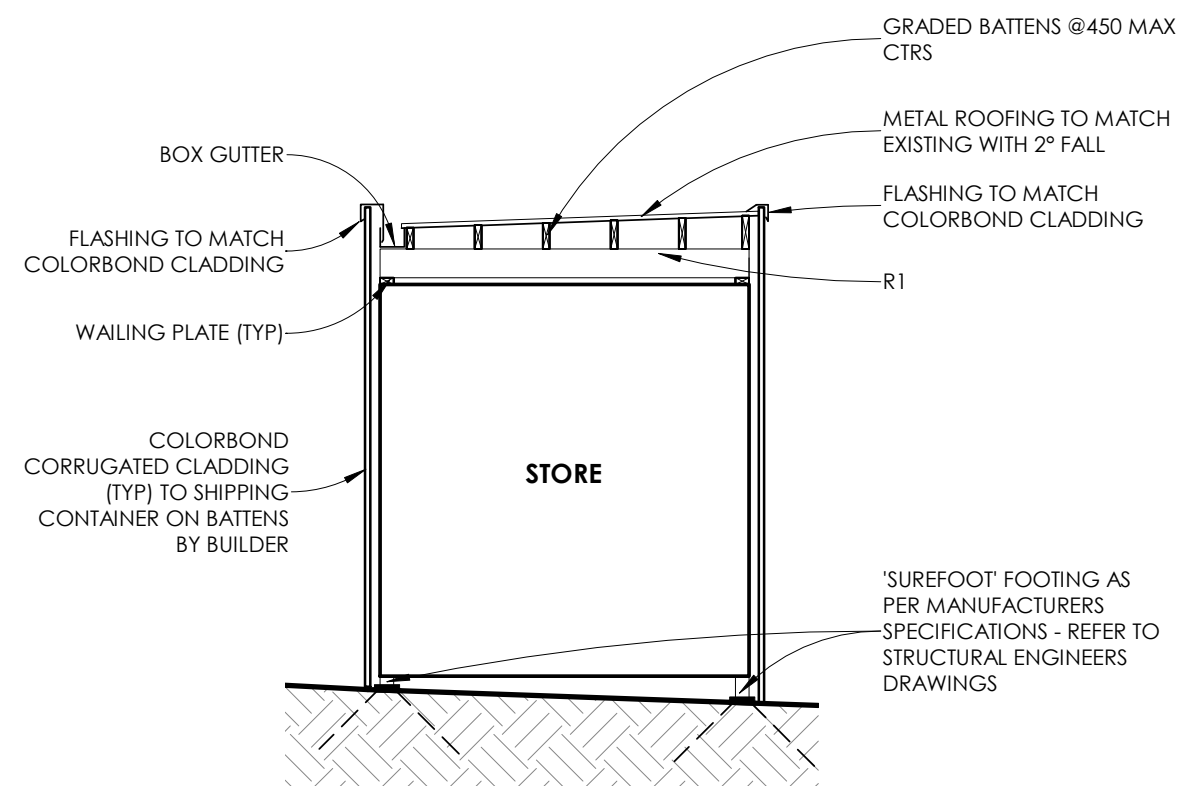
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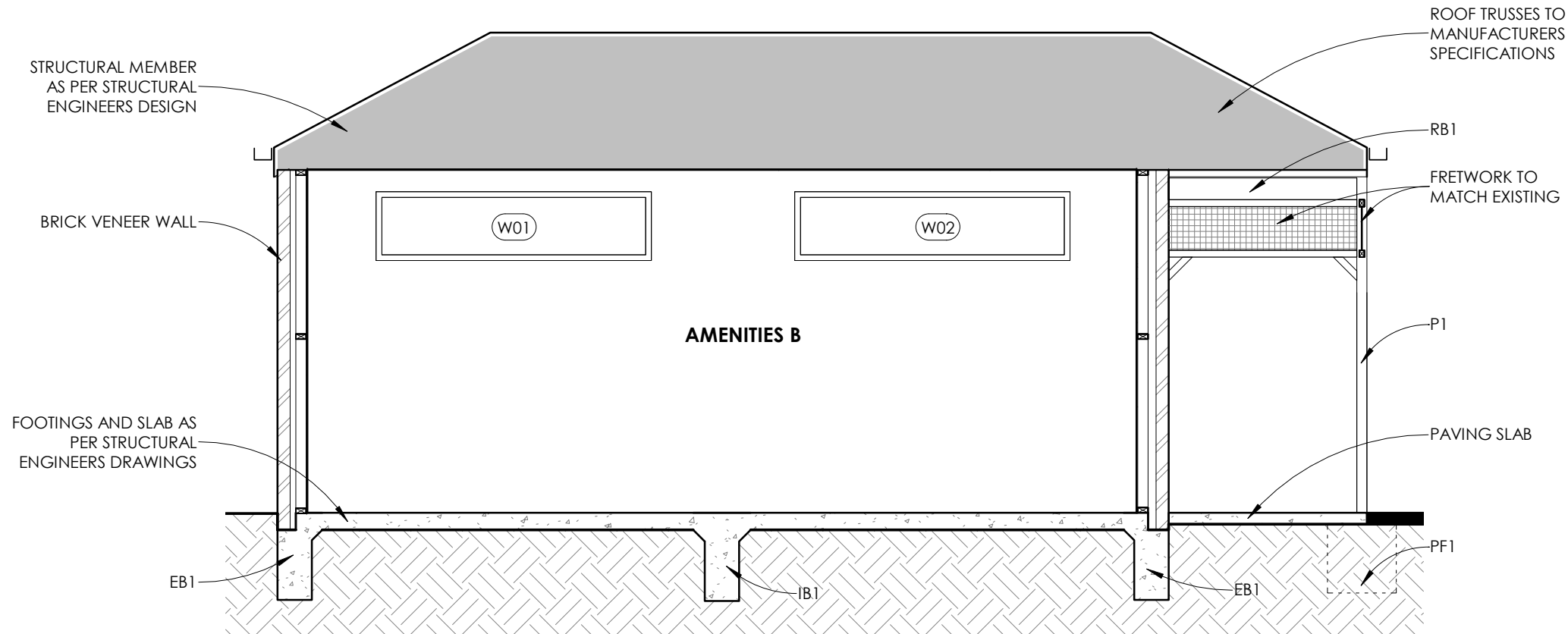




PROPOSED SECTION A-A  
1 : 50



PROPOSED SECTION C-C  
1 : 50



PROPOSED SECTION B-B  
1 : 50

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WALL FINISHES	
WF1	13mm PLASTERBOARD PAINTED DULUX WHITE POLAR QUARTER FROM FLOOR TO CEILING (ADD CORNICE/BEADING TO MATCH EXISTING AT THE TOP OF ALL NEW WALLS)
WF2	13mm PLASTERBOARD PAINTED DULUX WHITE POLAR QUARTER FROM FLOOR TO TOP OF WALL
WF3	BRICK TO MATCH EXISTING
WF4	INFILL WALL - PLASTERBOARD WALL (THICKNESS TO MATCH EXISTING), PAINTED DULUX WHITE POLAR QUARTER, INCLUDE SKIRTING TO MATCH EXISTING
WF5	VINYL SPLASHBACK - ARMSTRONG WALLFLEX IN COOL WHITE. REFER AMENITIES ELEVATIONS FOR EXTENT
P1	13mm COMPACT LAMINATE, FROM FLOOR TO 2100 IN LAMINEX BLACK
P2	13mm COMPACT LAMINATE, FROM 300 ABOVE FLOOR TO 2100 (1800 HIGH) IN LAMINEX BLACK
P3	13mm COMPACT LAMINATE, FROM FLOOR TO 2100 IN LAMINEX GHOSTGUM
P4	13mm COMPACT LAMINATE, FROM 300 ABOVE FLOOR TO 2100 (1800 HIGH) IN LAMINEX GHOSTGUM

<b>JOINERY FINISHES</b>	
ALL VANITY BENCHTOPS AND SHROUDS TO BE LAMINEX LAMINATE IN GHOSTGUM	
<b>CEILING FINISHES</b>	
CFI	CEILINGS & CORNICES TO BE PAINTED IN DULUX WHITE POLAR QUARTER
<b>DOOR FINISHES</b>	
INTERNAL DOORS TO BE PAINTED IN DULUX WATER WORN	
ARCHITRAVES TO BE PAINTED IN DULUX WHITE POLAR QUARTER	
EXTERNAL DOORS TO BE PAINTED IN DULUX PALE TENDRIL HALF (EXTERNAL SIDE) AND DULUX WATER WORN (INTERNAL SIDE)	
EXTERNAL DOOR GRILLES TO BE BLACK	
WINDOW & D05 MESH TO BE SILVER TO MATCH EXISTING	
ROLLER DOOR IN COLORBOND BUSHLAND	
<b>SCREENS &amp; CLADDING</b>	
PLAYER ENTRY SCREENS TO BE LOCKER TITAN 120 ALUMINIUM SCREENS POWDERCOATED IN SURFMIST	
CONTAINER CLADDING TO BE COLORBOND CORRUGATED SHEETS IN BUSHLAND	
QUANTITIES WHERE SPECIFIED ARE APPROXIMATE ONLY. THE BUILDER SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES TO ENSURE THAT THE FULL INTENT OF THE DESIGN IS SATISFIED.	
ALL NEW ARCHITRAVE AND CORNICE PROFILES TO MATCH EXISTING UNO	
DOOR AND DOOR FRAMES REQUIRE A MINIMUM LUMINANCE CONTRAST OF 30%	

A	19/09/23	CLIENT REVIEW

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PAVILION REFURBISHMENT  
RAYNER RESERVE  
46A DEVON ROAD, OAK PARK

MERRI-BEK CITY COUNCIL

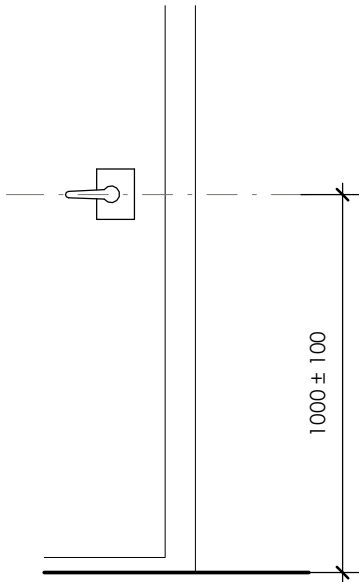
## PROPOSED ROOF & FINISHES PLANS

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DOOR AND WINDOW SCHEDULE												
REF.	LOCATION	SIZE			GLAZING	OPERATION	MATERIAL	FINISH	KEY LOCKABLE	SELF CLOSER	DOOR STOP	NOTES
		HEIGHT	WIDTH	SILL HEIGHT								
D01	PLAYER ENTRY	2040	970			SWING DOOR	PERFORATED PANEL	POWDERCOATED	X		X	
D02	CHANGE ROOM B	2040	920			SWING DOOR	SOLID CORE TIMBER	PAINTED	X	X	X	
D03	CHANGE ROOM A	2040	920			SWING DOOR	SOLID CORE TIMBER	PAINTED	X	X	X	
D04	PLAYER ENTRY	2040	970			SWING DOOR	PERFORATED PANEL	POWDERCOATED	X		X	
D05	CLUB ROOM	2130	2000		CLEAR, DOUBLE	DOUBLE SWING DOOR	ALUMINIUM / GLAZED	POWDERCOATED	X	X	X	INCLUDES SECURITY MESH
D06	PUBLIC ACCESSIBLE TOILET	2040	920			SWING DOOR	SOLID CORE TIMBER	PAINTED	X	X	X	INCLUDES NEW SECURITY GRILLE DOOR
D07	FIRST AID	2040	920			SWING DOOR	SOLID CORE TIMBER	PAINTED	X	X	X	INCLUDES NEW SECURITY GRILLE DOOR
D08	UMPIRE	2040	920			SWING DOOR	SOLID CORE TIMBER	PAINTED	X	X	X	INCLUDES NEW SECURITY GRILLE DOOR
D09	MALE WC	2040	820			SWING DOOR	HOLLOWCORE	PAINTED		X	X	
D10	CLEANER	2040	770			SWING DOOR	HOLLOWCORE	PAINTED	X			
D11	FEMALE WC	2040	770			SWING DOOR	HOLLOWCORE	PAINTED		X	X	
D12	ACCESSIBLE BATHROOM	2040	920			SWING DOOR	HOLLOWCORE	PAINTED		X	X	
D13	SHIPPING CONTAINER	2100	2500			ROLLER DOOR	STEEL	COLORBOND	X			
W01	AMENITIES B	600	2400	2200	CLEAR, DOUBLE	FIXED WINDOW	ALUMINIUM	POWDERCOATED				INCLUDES SECURITY MESH
W02	AMENITIES B	600	2400	2200	CLEAR, DOUBLE	FIXED WINDOW	ALUMINIUM	POWDERCOATED				INCLUDES SECURITY MESH
W03	FIRST AID	600	1500	2200	CLEAR, DOUBLE	FIXED WINDOW	ALUMINIUM	POWDERCOATED				INCLUDES SECURITY MESH
W04	UMPIRE	600	1500	2200	CLEAR, DOUBLE	FIXED WINDOW	ALUMINIUM	POWDERCOATED				INCLUDES SECURITY MESH

NOTES:  
ALL DOORS TO BE KEYED ALIKE  
ALL DOORS ON A PATH TO A REQUIRED EXIT TO BE OPENABLE BY A SINGLE HANDED DOWNWARD ACTION TO COMPLY WITH AS1428.  
ALL DOORS TO HAVE LOCK OVERRIDE WHEN OPENED FROM THE INSIDE  
REFER TO DOOR HARDWARE SCHEDULE (SCHED02) FOR DOOR HARDWARE SPECIFICATION  
REFER TO THE MECHANICAL DRAWINGS BY ELEV8 CONSULTING SERVICES FOR DOOR GRILLE SIZES AND LOCATIONS



TYPICAL DOOR HANDLE HEIGHT DETAIL  
1 : 20

BRAILLE SCHEDULE				
REF		DESCRIPTION	QTY	LOCATION
BR1		UNISEX CHANGE ROOM & SHOWER	2	D02 D03
BR2		UNISEX AMBULANT TOILET	3	AMENITIES A AMBULANT TOILET AMENITIES B AMBULANT TOILET UMPIRE AMBULANT CUBICLE
BR3		MALE & AMBULANT TOILET	1	D09
BR4		MALE TOILET	1	MALE TOILET CUBICLE
BR5		MALE AMBULANT TOILET	1	MALE AMBULANT TOILET CUBICLE
BR6		FEMALE & AMBULANT TOILET	1	D11
BR7		FEMALE TOILET	1	FEMALE TOILET CUBICLE

REF		DESCRIPTION	QTY	LOCATION
BR8		FEMALE AMBULANT TOILET	1	FEMALE AMBULANT TOILET CUBICLE
BR9		UNISEX ACCESSIBLE TOILET –RIGHT HAND TRANSFER WITH SHOWER	1	D12
BR10		UNISEX ACCESSIBLE TOILET –LEFT HAND TRANSFER	1	D06
BR11		UMPIRE ROOM	1	D08 D05
BR12		FIRST AID	1	D07
BR13		EXIT LEVEL G	3	D02 D03

NOTES:  
BRAILLE TO BE INSTALLED IN COMPLIANCE WITH NCC 2019 VOL 1 AND AS1428.1.


THE BACKGROUND, NEGATIVE SPACE, FILL OF A SIGN OR BORDER WITH A MINIMUM WIDTH OF 5 MM MUST HAVE A LUMINANCE CONTRAST WITH THE SURFACE ON WHICH IT IS MOUNTED OF NOT LESS THAN 30%.

BRAILLE SIGNS IDENTIFYING SANITARY FACILITIES MUST BE LOCATED ON THE WALL ON THE LATCH SIDE OF THE DOOR. WHERE NOT POSSIBLE, THE SIGN CAN BE LOCATED ON THE DOOR ITSELF.

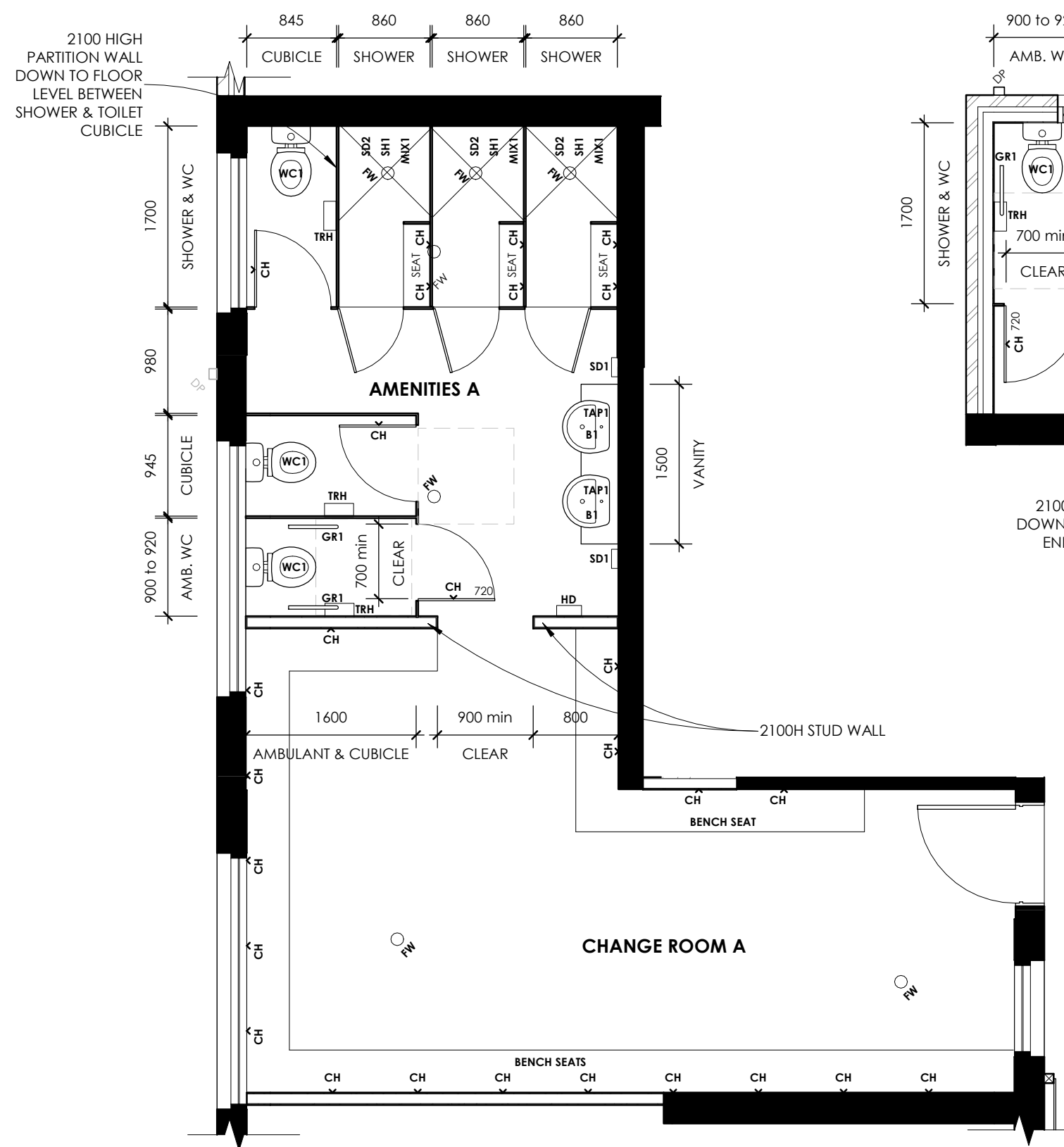
BRAILLE SIGNS IDENTIFYING AN EXIT ON A DOOR REQUIRED TO HAVE AN EXIT SIGN MUST BE LOCATED ON THE SIDE THAT FACES A PERSON SEEKING EGRESS ON THE WALL ON THE LATCH SIDE OF THE DOOR. WHERE NOT POSSIBLE THE SIGN CAN BE LOCATED ON THE DOOR ITSELF.

BRAILLE AND TACTILE COMPONENTS OF A SIGN MUST BE LOCATED BETWEEN 1200mm AND 1600mm ABOVE THE FLOOR OR GROUND SURFACE. SIGNS WITH SINGLE LINES OF CHARACTERS MUST BE LOCATED WITH THE LINE OF TACTILE CHARACTERS NOT LESS THAN 1250mm AND NOT HIGHER THAN 1350MM ABOVE THE FLOOR OR GROUND SURFACE.

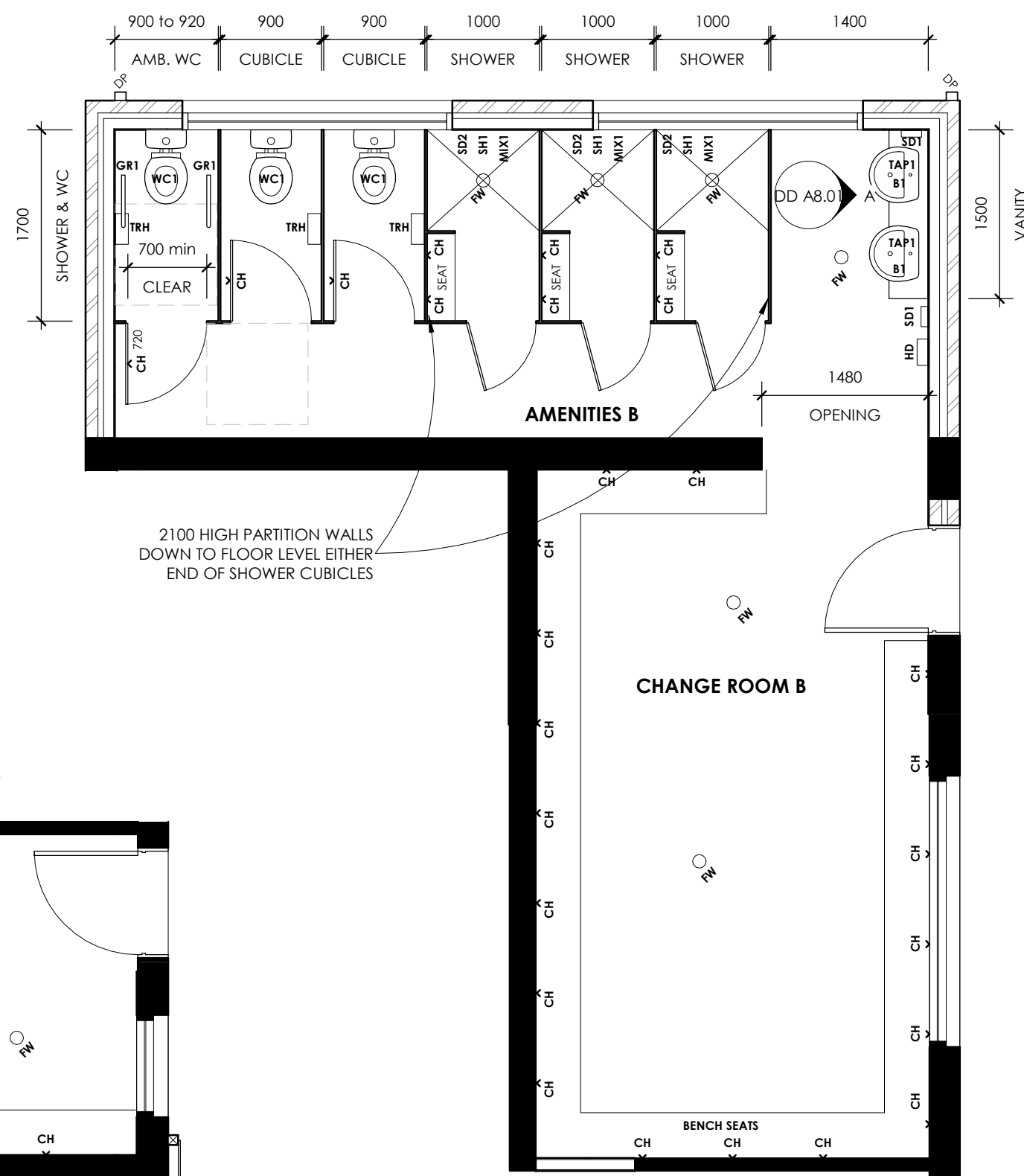
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SHEET		
SCHEDULES		
DATE	19/09/23	
JOB NUMBER	12229	
DRAWN BY	JB	
CHECKED BY	SS	
TO SCALE ON	A2	
DRAWING NUMBER	DD A6.01	VERSION NUMBER A
 CONSTRUCTION & BUILDING DESIGN PTY LTD 1 BELL STREET BRUNSWICK VICTORIA 3056 PH 03 9380 8855 DP-AD: 1177		



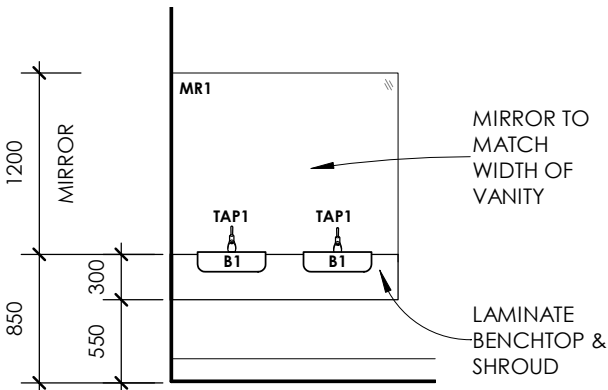


PROPOSED AMENITIES A PLAN  
1 : 50

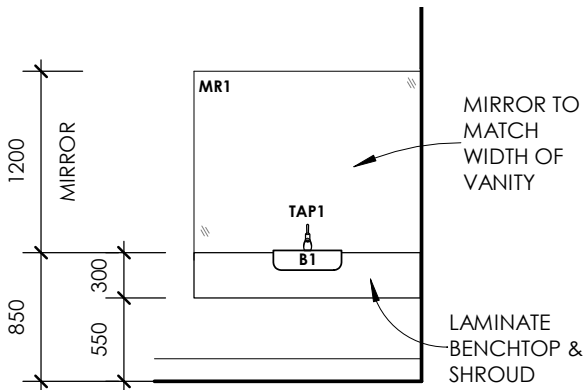


PROPOSED AMENITIES B PLAN  
1 : 50

- AMENITIES NOTES:**
- DIMENSIONS SHOWN ARE TO FINISHED WALLS. IF WALL THICKNESS ARE INCREASED ENSURE MINIMUM DIMENSIONS ARE MAINTAINED.
  - WATERPROOFING TO COMPLY WITH AS 3740-2010 AND F1.7 FROM NCC VOL.1.
  - FLOORING WITH 150mm MIN COVING - REFER TO FINISHES SCHEDULE ON PAGE A5.01.
  - IN AN EMERGENCY THE DOORS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT AND THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.
  - CUBICLE DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A SNIB CATCH.
  - BRAILLE SIGNAGE TO AMENITY DOORS AS PER BRAILLE SCHEDULE ON PAGE A6.01.
  - FOR DESCRIPTION OF ITEM CODES REFER TO FITTINGS AND FIXTURES SCHEDULE.
  - FEMALE/UNISEX TOILETS MUST BE PROVIDED WITH A MEANS OF DISPOSAL OF SANITARY TOWELS.
  - COAT HOOKS MUST BE INSTALLED AT A HEIGHT BETWEEN 1200mm AND 1350mm FROM THE FINISHED FLOOR LEVEL.

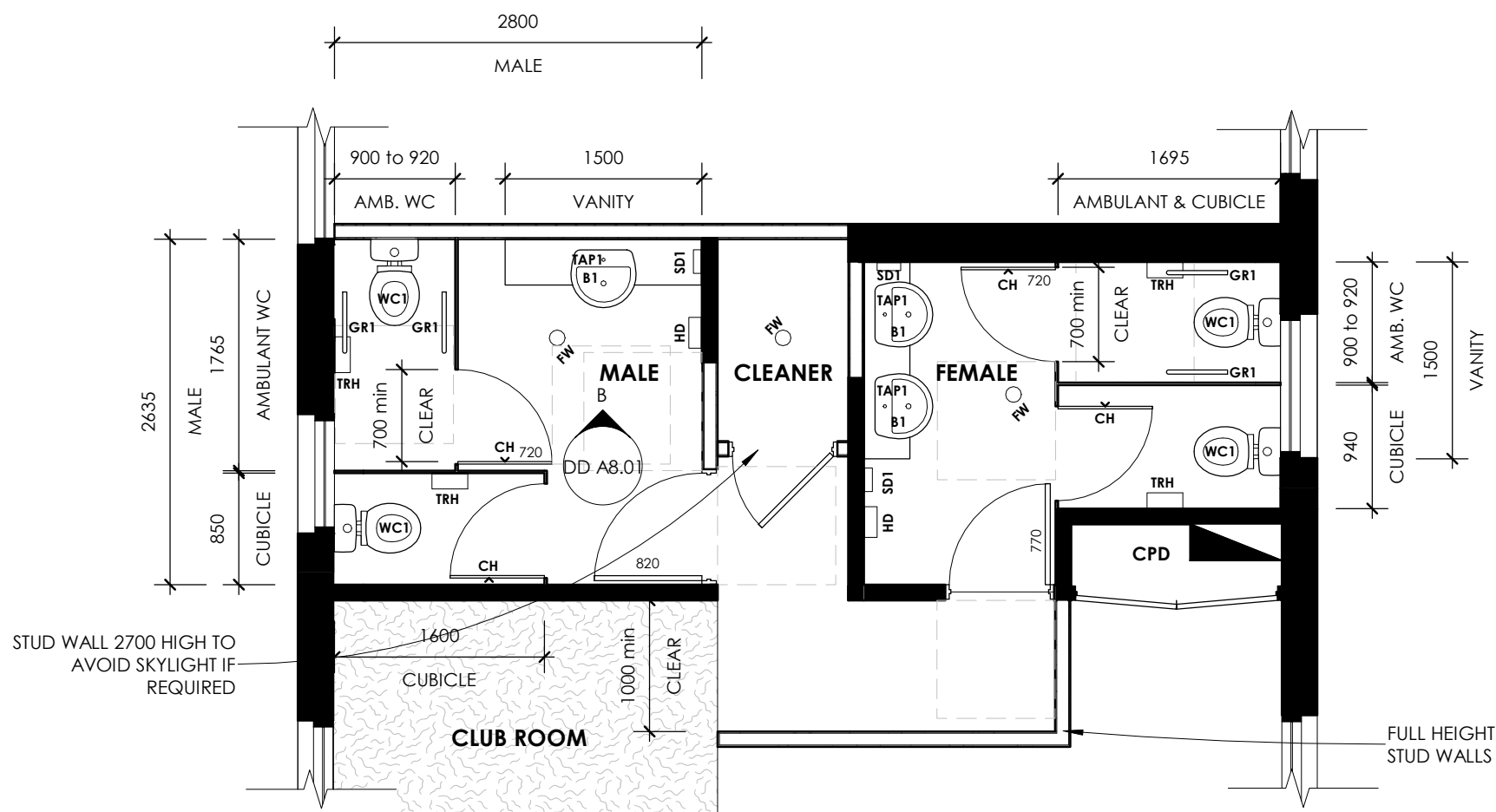


INTERNAL ELEVATION A  
1 : 50  
TYPICAL FOR AMENITIES A & FEMALE

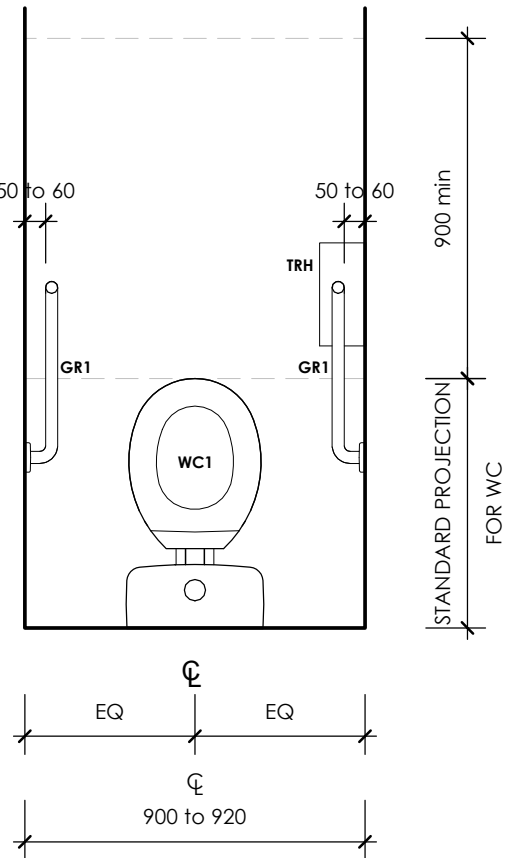


INTERNAL ELEVATION B  
1 : 50

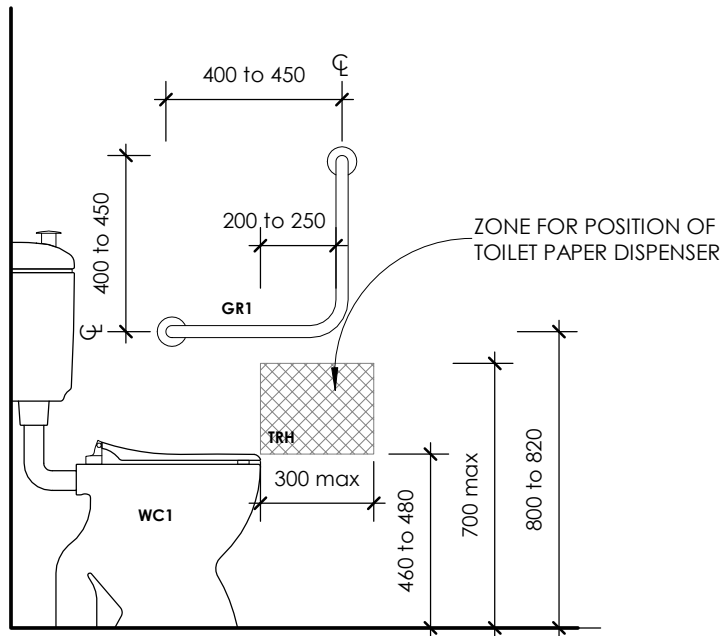
NOTE: ALL VANITIES ARE 350D



PROPOSED MALE & FEMALE AMENITIES  
1 : 50



TYPICAL AMBULANT TOILET LAYOUT  
1 : 20



PRELIMINARY ISSUE

A	19/09/23	CLIENT REVIEW	
PROJECT			
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK			
CLIENT			
MERRI-BEK CITY COUNCIL			
SHEET			
CHANGE ROOM & CLUB ROOM AMENITIES DETAILS			
DATE	19/09/23		
JOB NUMBER	12229		
DRAWN BY	JB		
CHECKED BY	SS		
TO SCALE ON	A2		
DRAWING NUMBER	DD A8.01	VERSION NUMBER	A
			
CONSTRUCTION & BUILDING DESIGN PTY LTD			
1 BELL STREET BRUNSWICK VICTORIA 3056			
PH 03 9380 8855			
DP-AD: 1177			



**AMENITIES NOTES:**  
DIMENSIONS SHOWN ARE TO FINISHED WALLS. IF WALL THICKNESS ARE INCREASED ENSURE MINIMUM DIMENSIONS ARE MAINTAINED.

UNISEX ACCESSIBLE BATHROOM TO COMPLY WITH AS 1428.1-2009.

WATERPROOFING TO COMPLY WITH AS 3740-2010 AND F1.7 FROM NCC VOL.1.

VINYL FLOORING WITH 150mm MIN COVING TO AMENITIES FLOOR REFER VINYL SPECIFICATION ON PAGE A5.01.

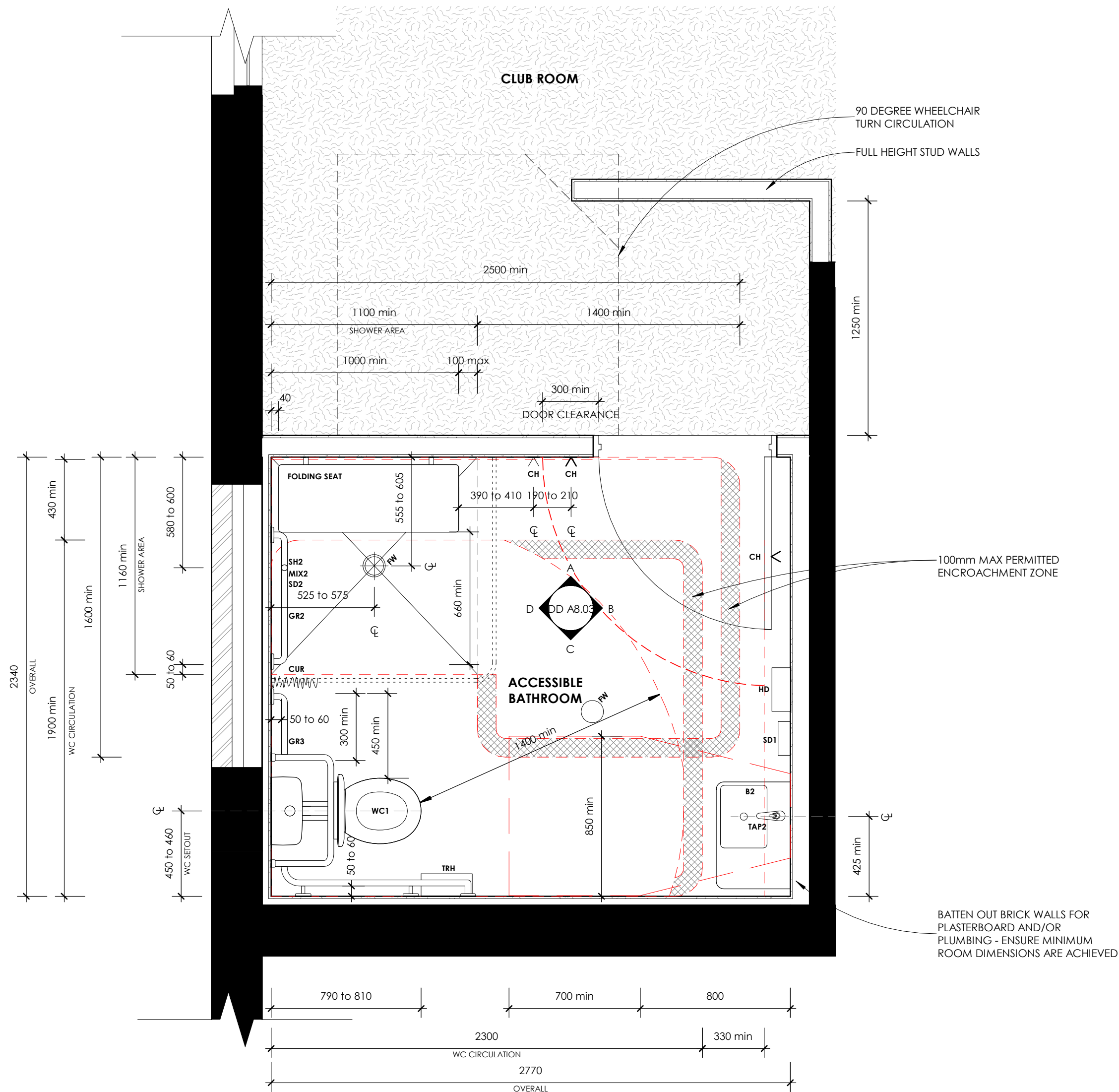
IN AN EMERGENCY THE DOORS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT AND THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.

BRAILLE SIGNAGE TO AMENITY DOOR AS PER BRAILLE SCHEDULE ON PAGE A6.01.

FOR DESCRIPTION OF ITEM CODES REFER TO FITTINGS AND FIXTURES SCHEDULE.

FEMALE/UNISEX TOILETS MUST BE PROVIDED WITH A MEANS OF DISPOSAL OF SANITARY TOWELS.

COAT HOOKS MUST BE INSTALLED AT A HEIGHT BETWEEN 1200mm AND 1350mm FROM THE FINISHED FLOOR LEVEL.



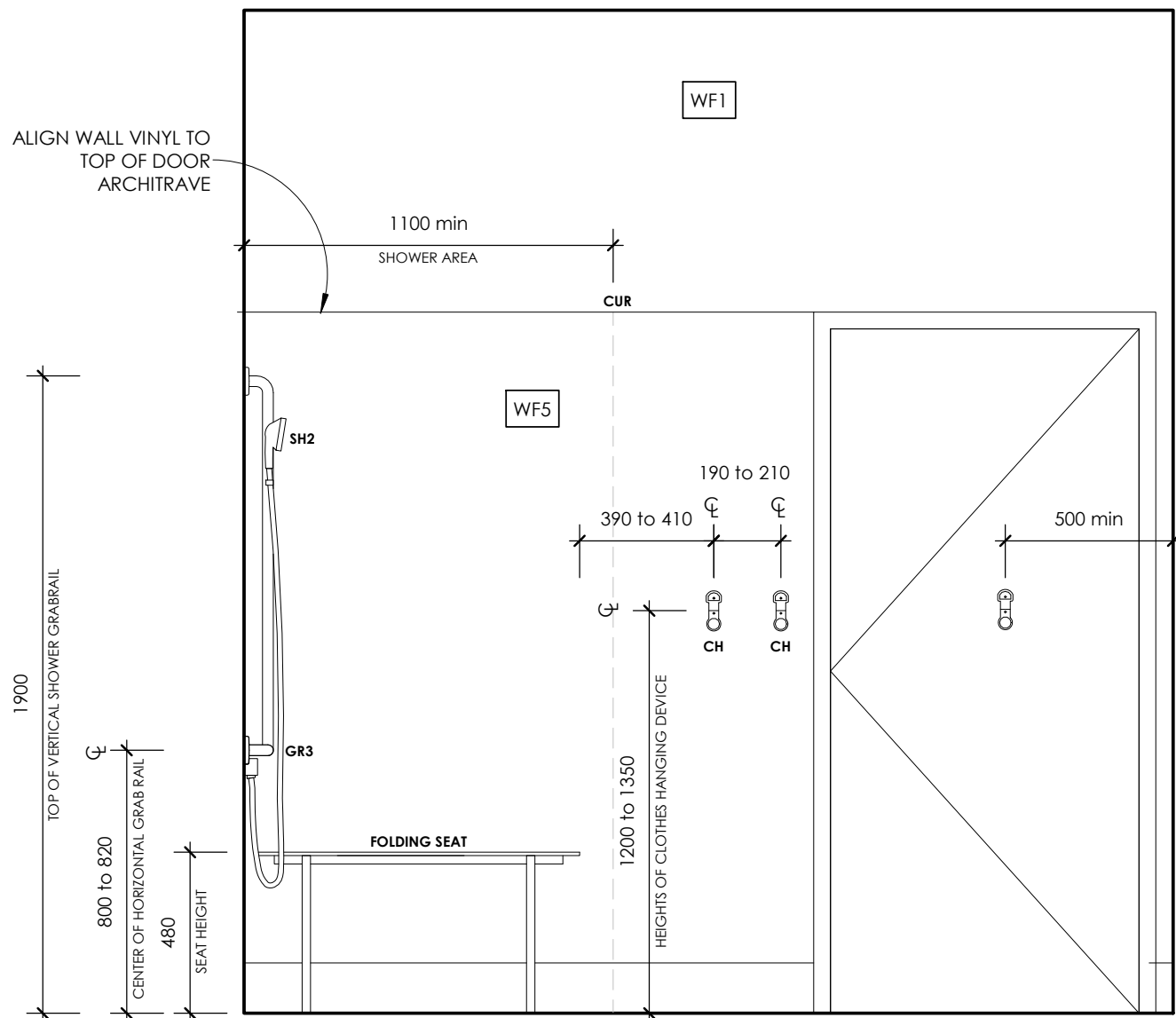
**ACCESSIBLE BATHROOM PLAN**  
1 : 20

**PRELIMINARY ISSUE**

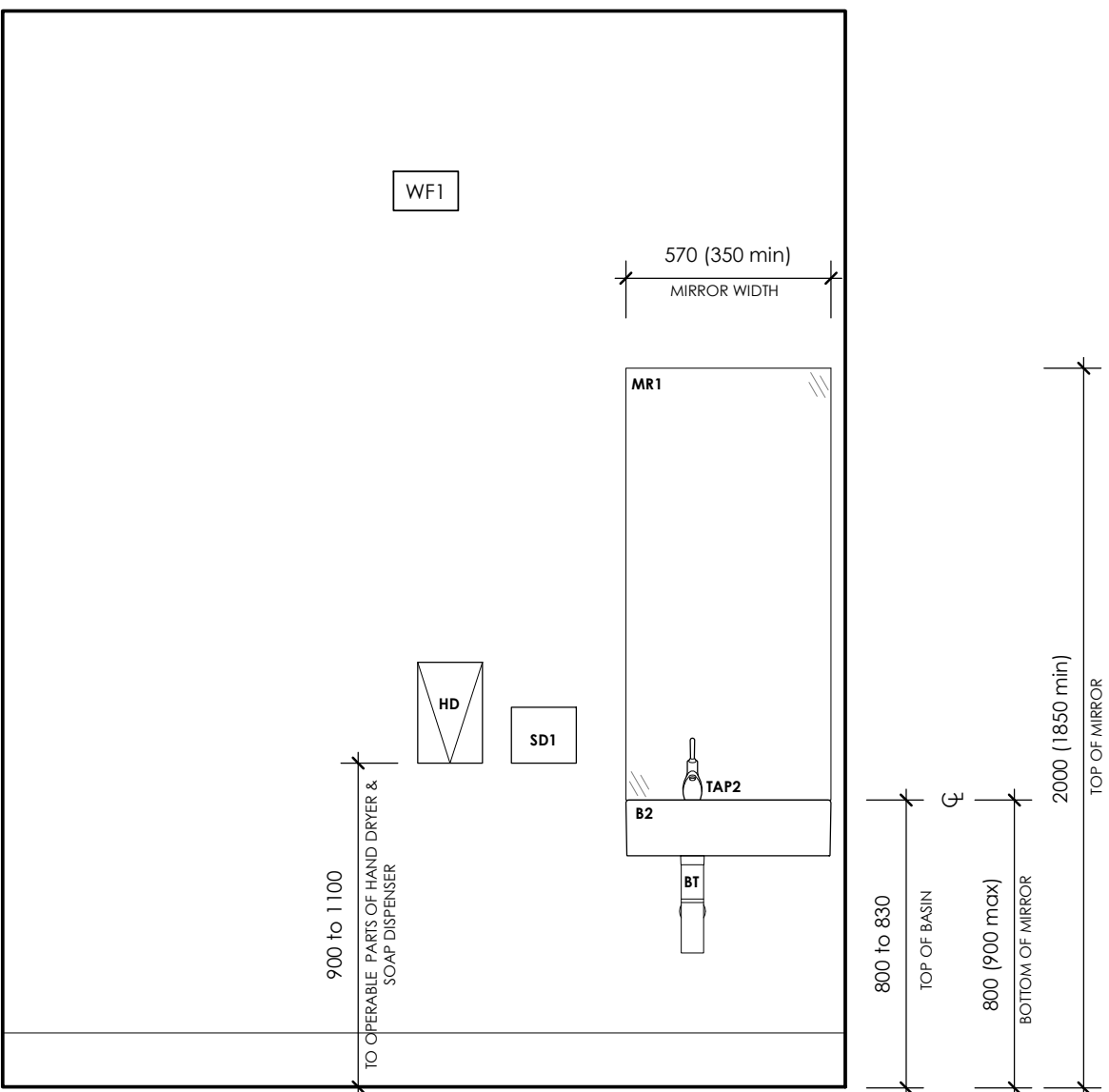
A	19/09/23	CLIENT REVIEW
<b>PROJECT</b>		
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK		
<b>CLIENT</b>		
MERRI-BEK CITY COUNCIL		
<b>SHEET</b>		
<b>ACCESSIBLE BATHROOM PLAN</b>		
DATE	19/09/23	
JOB NUMBER	12229	
DRAWN BY	JB	
CHECKED BY	SS	
TO SCALE ON	A2	
DRAWING NUMBER	DD A8.02	VERSION NUMBER A

**CBDO**  
CONSTRUCTION & BUILDING DESIGN PTY LTD  
1 BELL STREET BRUNSWICK VICTORIA 3056  
PH 03 9380 8855  
DP-AD: 1177

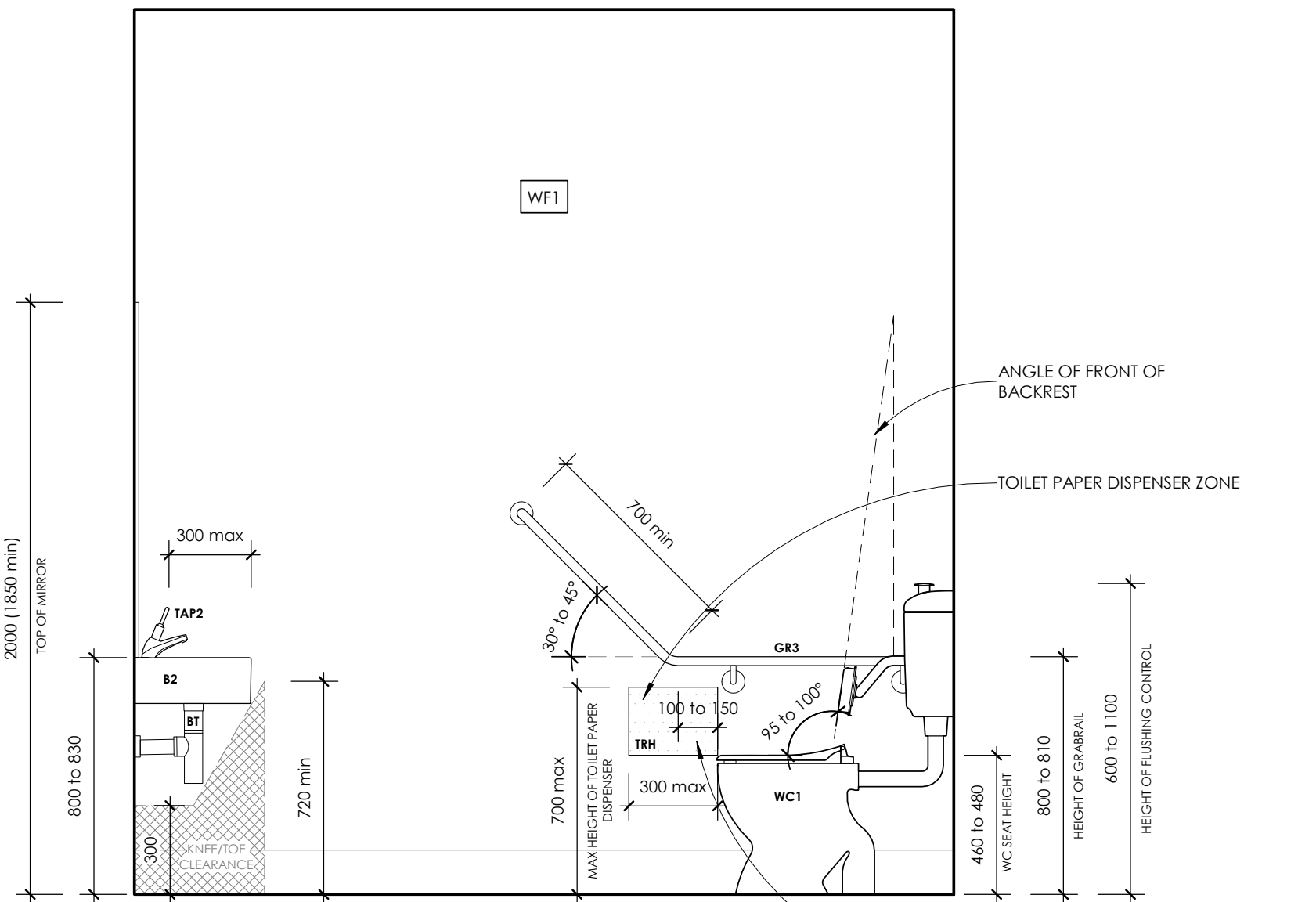




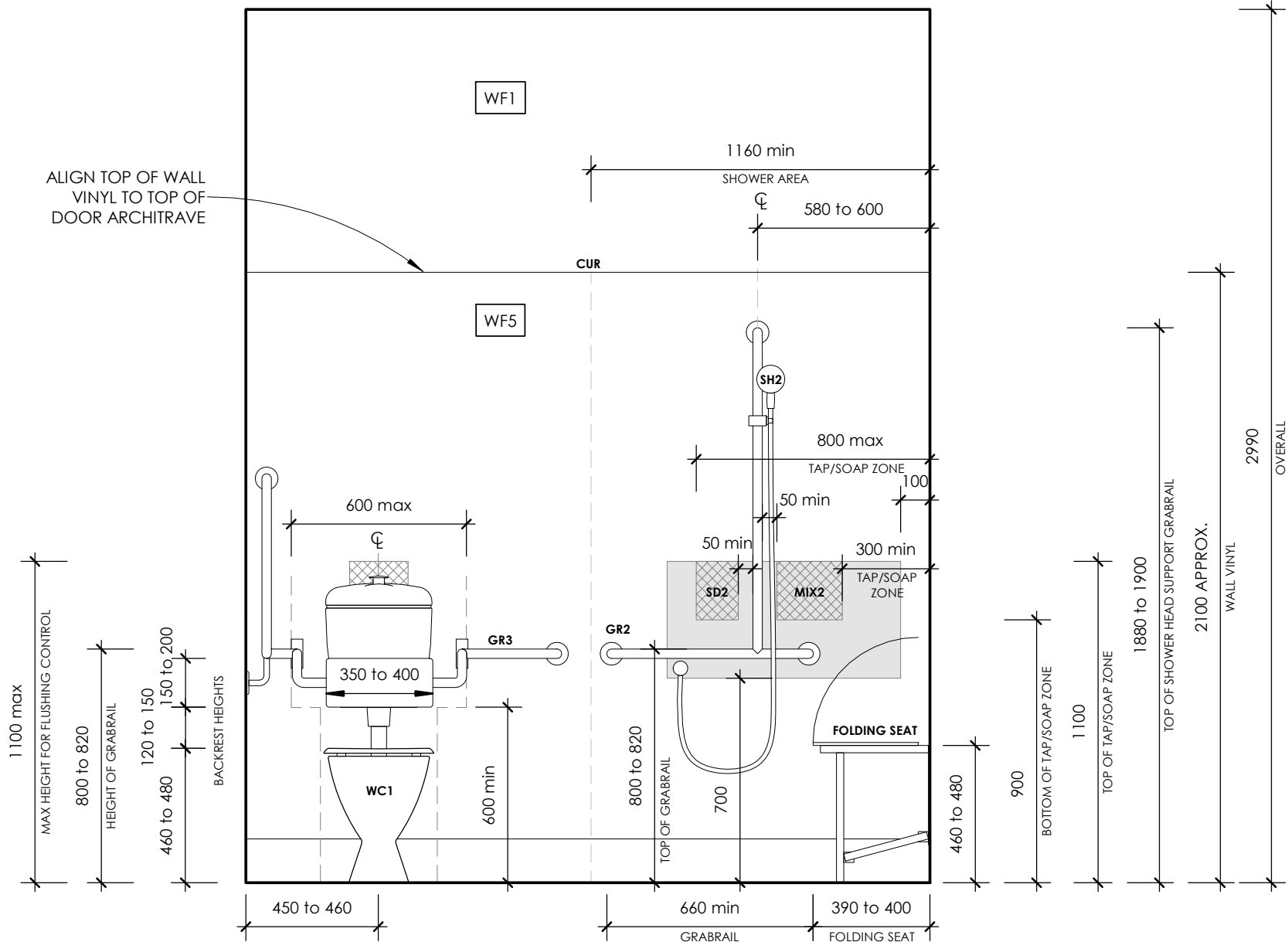
ACCESSIBLE BATHROOM ELEVATION A  
1 : 20



ACCESSIBLE BATHROOM ELEVATION B  
1 : 20



ACCESSIBLE BATHROOM ELEVATION C  
1 : 20



ACCESSIBLE BATHROOM ELEVATION D  
1 : 20

**AMENITIES NOTES:**  
DIMENSIONS SHOWN ARE TO FINISHED WALLS. IF WALL THICKNESS ARE INCREASED ENSURE MINIMUM DIMENSIONS ARE MAINTAINED.

UNISEX ACCESSIBLE BATHROOM TO COMPLY WITH AS 1428.1-2009.

WATERPROOFING TO COMPLY WITH AS 3740-2010 AND F1.7 FROM NCC VOL.1.

VINYL FLOORING WITH 150mm MIN COVING TO AMENITIES FLOOR REFER VINYL SPECIFICATION ON PAGE A5.01.

IN AN EMERGENCY THE DOORS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT AND THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.

BRILLE SIGNAGE TO AMENITY DOOR AS PER BRILLE SCHEDULE ON PAGE A6.01.

FOR DESCRIPTION OF ITEM CODES REFER TO FITTINGS AND FIXTURES SCHEDULE.

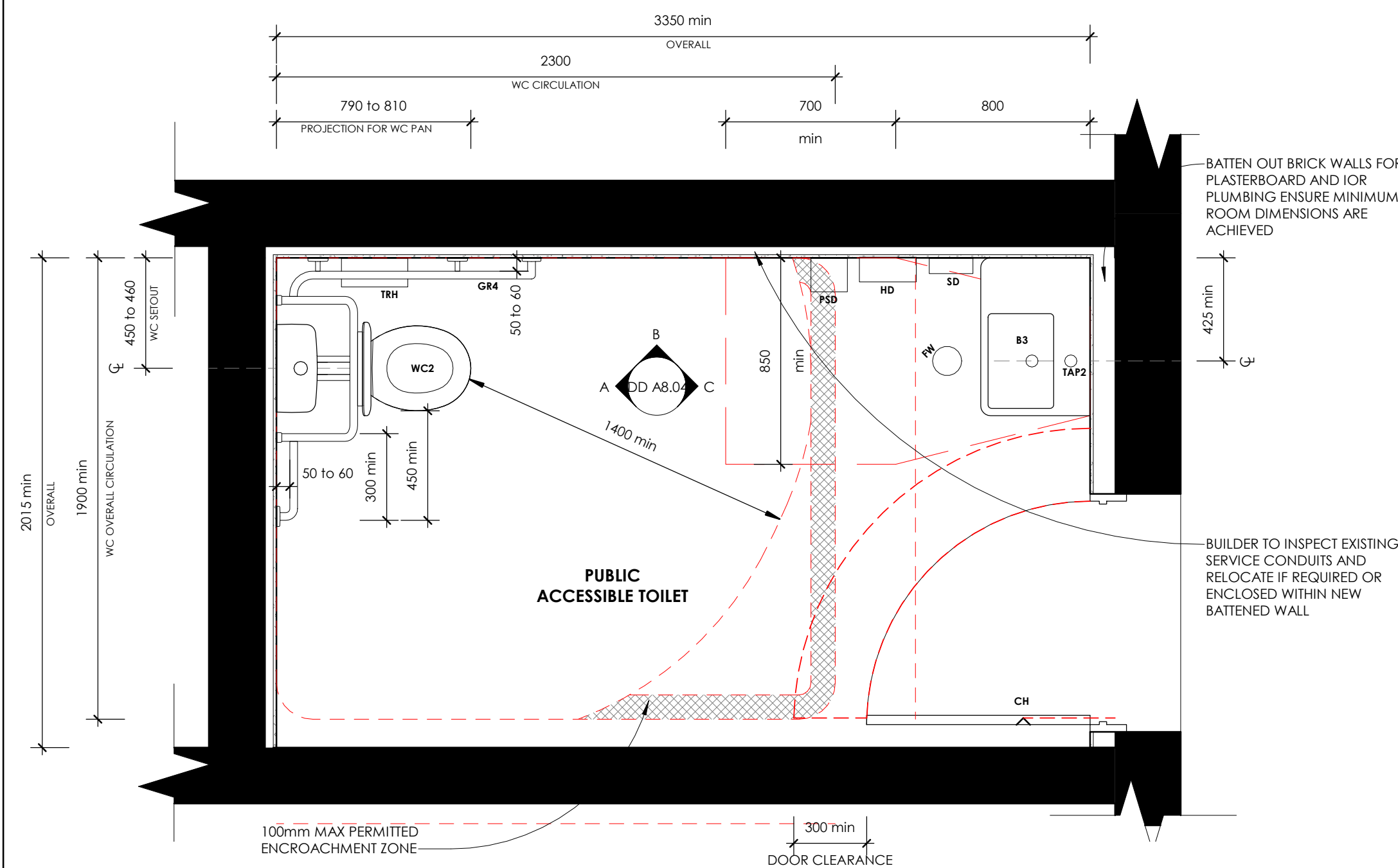
FEMALE/UNISEX TOILETS MUST BE PROVIDED WITH A MEANS OF DISPOSAL OF SANITARY TOWELS.

COAT HOOKS MUST BE INSTALLED AT A HEIGHT BETWEEN 1200mm AND 1350mm FROM THE FINISHED FLOOR LEVEL.

PRELIMINARY ISSUE

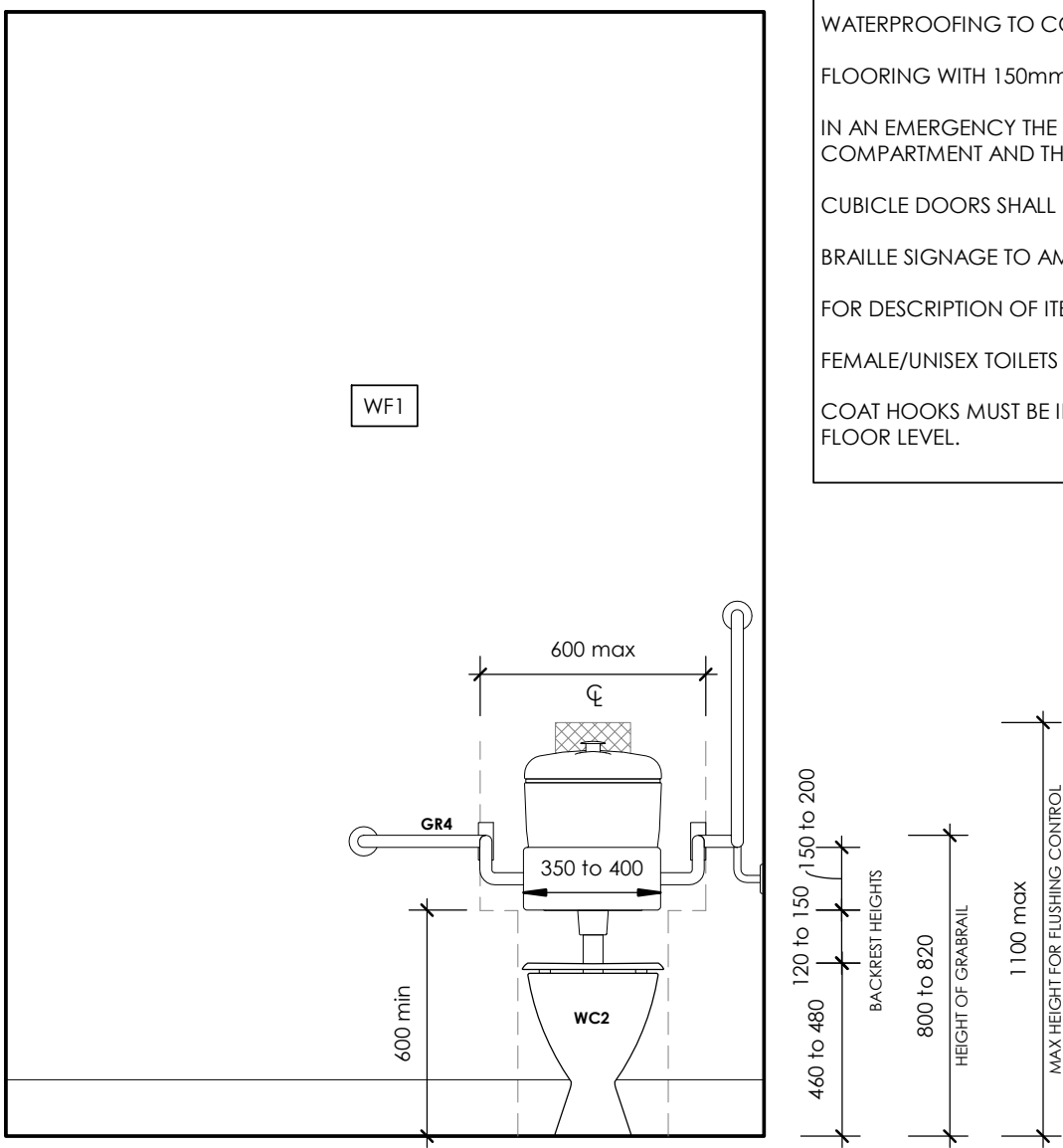
A	19/09/23 CLIENT REVIEW
PROJECT	
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK	
CLIENT	
MERRI-BEK CITY COUNCIL	
SHEET	
ACCESSIBLE BATHROOM ELEVATIONS	
DATE	19/09/23
JOB NUMBER	12229
DRAWN BY	JB
CHECKED BY	SS
TO SCALE ON	A2
DRAWING NUMBER	DD A8.03
VERSION NUMBER	A
<b>CBD</b> CONSTRUCTION & BUILDING DESIGN PTY LTD 1 BELL STREET BRUNSWICK VICTORIA 3056 PH 03 9380 8855 DP-AD: 1 177	





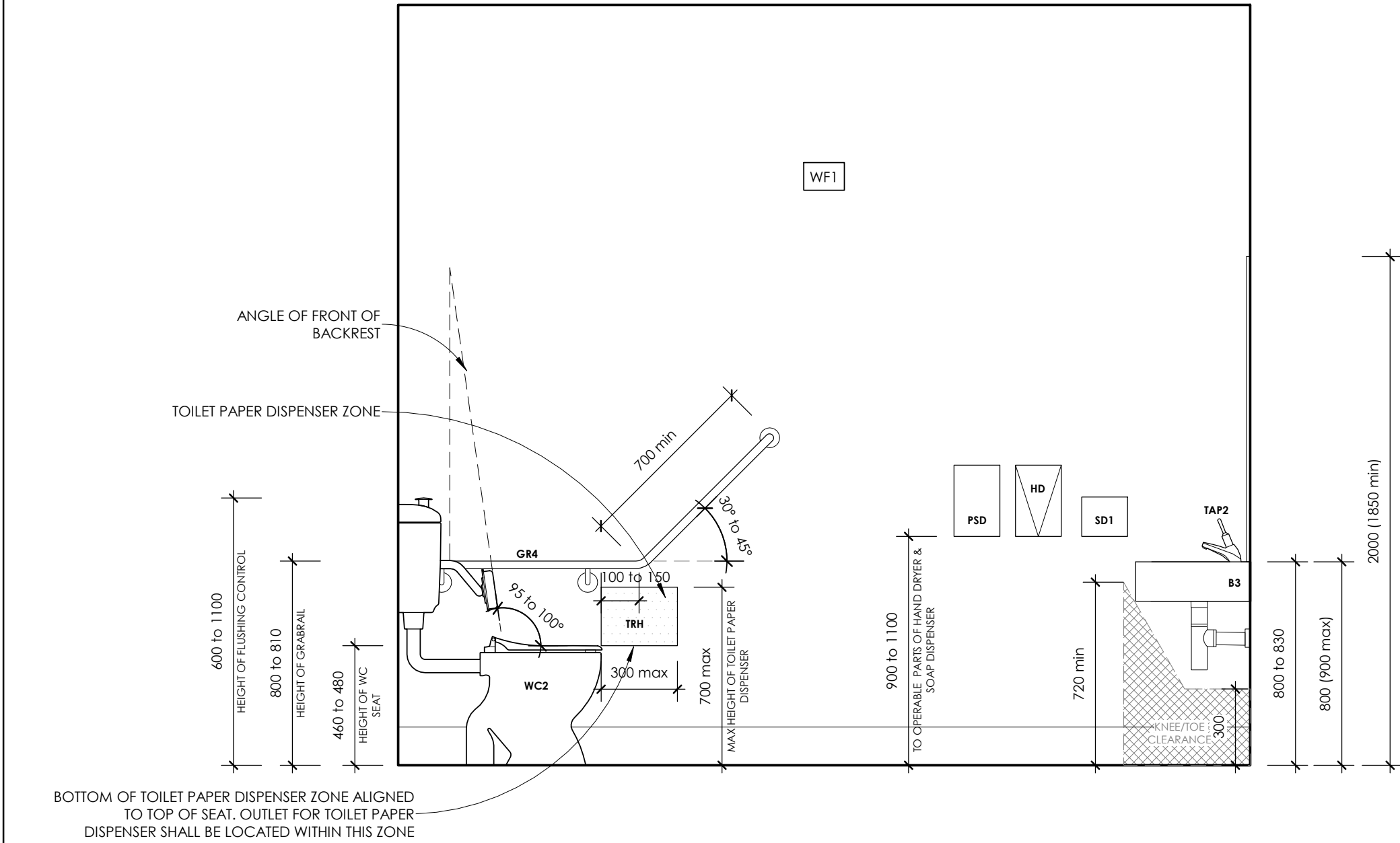
PUBLIC ACCESSIBLE WC PLAN

1 : 20



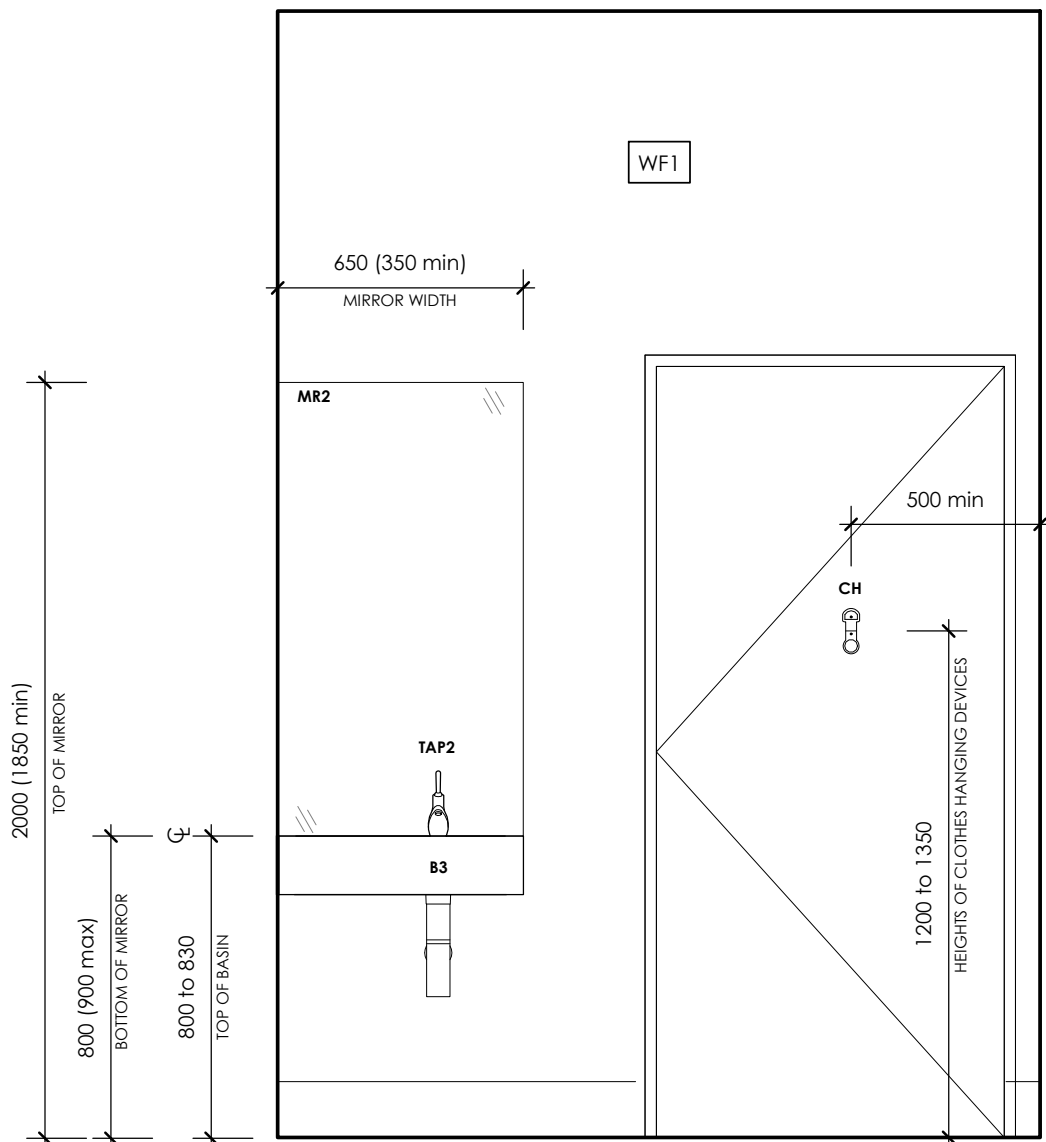
PUBLIC ACCESSIBLE TOILET ELEVATION A

1 : 20



PUBLIC ACCESSIBLE TOILET ELEVATION B

1 : 20



PUBLIC ACCESSIBLE TOILET ELEVATION C

1 : 20

AMENITIES NOTES:

DIMENSIONS SHOWN ARE TO FINISHED WALLS. IF WALL THICKNESS ARE INCREASED ENSURE MINIMUM DIMENSIONS ARE MAINTAINED.

WATERPROOFING TO COMPLY WITH AS 3740-2010 AND F1.7 FROM NCC VOL.1.

FLOORING WITH 150mm MIN COVING - REFER TO FINISHES SCHEDULE ON PAGE A5.01.

IN AN EMERGENCY THE DOORS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT AND THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.

CUBICLE DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A SNIB CATCH.

BRaille SIGNAGE TO AMENITY DOORS AS PER BRaille SCHEDULE ON PAGE A6.01.

FOR DESCRIPTION OF ITEM CODES REFER TO FITTINGS AND FIXTURES SCHEDULE.

FEMALE/UNISEX TOILETS MUST BE PROVIDED WITH A MEANS OF DISPOSAL OF SANITARY TOWELS.

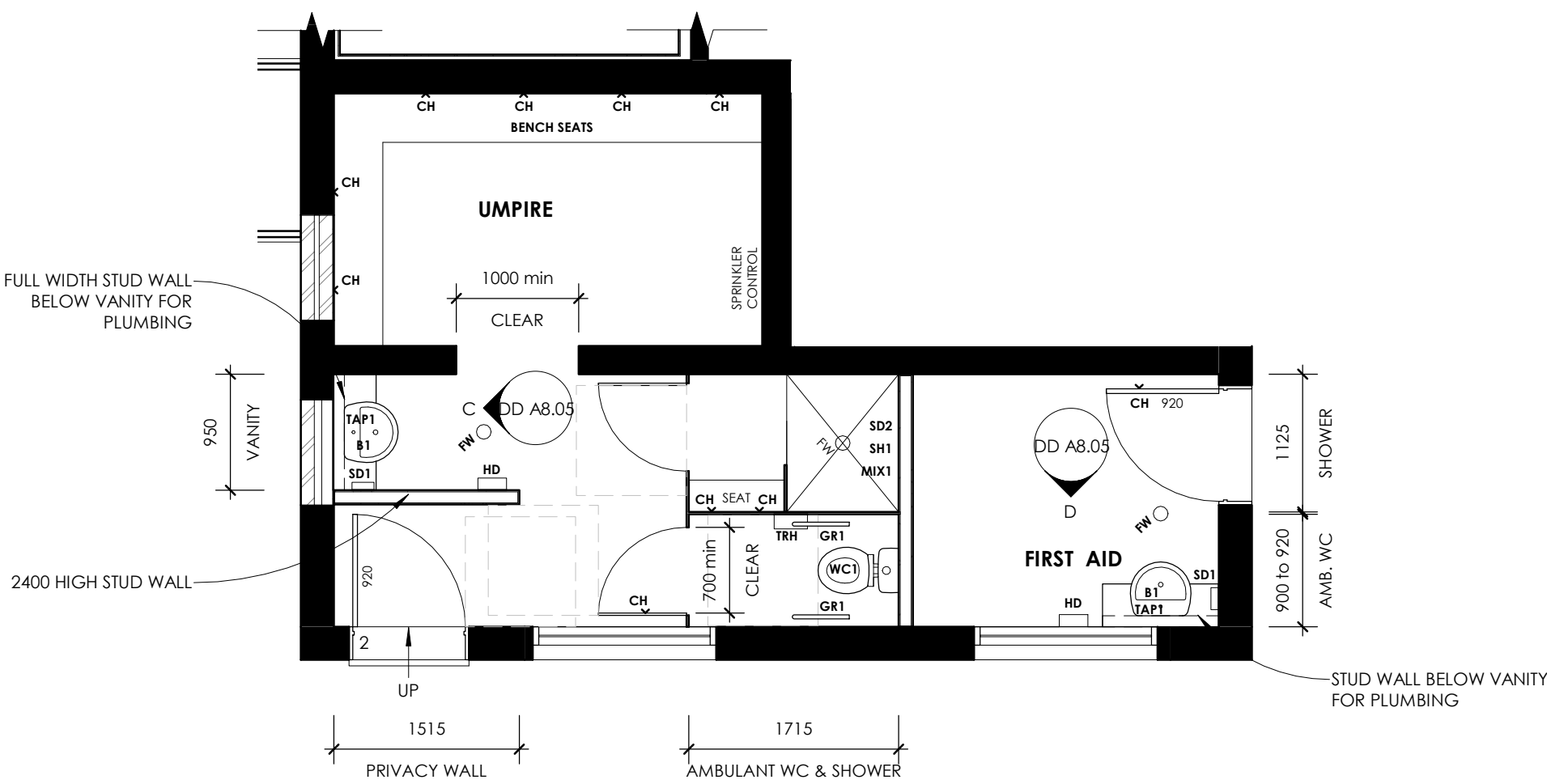
COAT HOOKS MUST BE INSTALLED AT A HEIGHT BETWEEN 1200mm AND 1350mm FROM THE FINISHED FLOOR LEVEL.

PRELIMINARY ISSUE

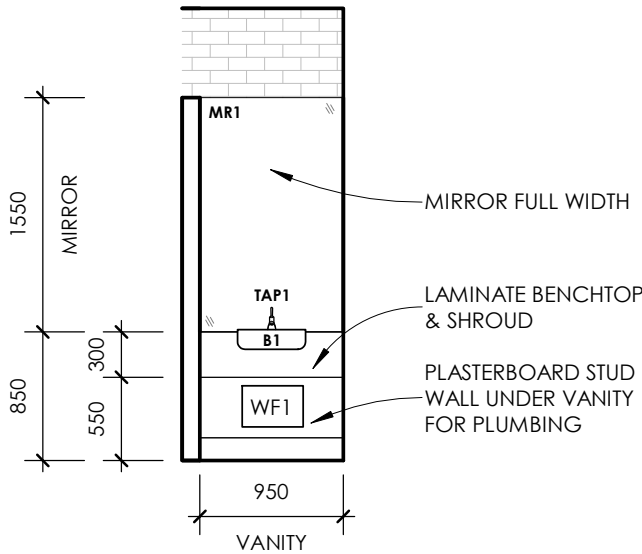
A	19/09/23	CLIENT REVIEW	
PROJECT			
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK			
CLIENT			
MERRI-BEK CITY COUNCIL			
SHEET			
PUBLIC ACCESSIBLE TOILET DETAILS			
DATE	19/09/23		
JOB NUMBER	12229		
DRAWN BY	JB		
CHECKED BY	SS		
TO SCALE ON	A2		
DRAWING NUMBER	DD A8.04	VERSION NUMBER	A

**CBD**  
CONSTRUCTION & BUILDING DESIGN PTY LTD  
1 BELL STREET BRUNSWICK VICTORIA 3056  
PH 03 9380 8855  
DP-AD: 1177

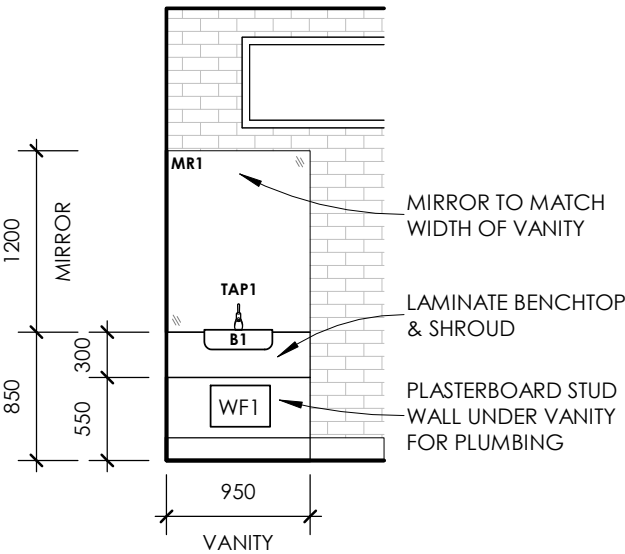




FIRST AID & UMPIRE ROOM PLAN  
1 : 50



INTERNAL ELEVATION C  
1 : 50



INTERNAL ELEVATION D  
1 : 50

- AMENITIES NOTES:**  
DIMENSIONS SHOWN ARE TO FINISHED WALLS. IF WALL THICKNESS ARE INCREASED ENSURE MINIMUM DIMENSIONS ARE MAINTAINED.
- WATERPROOFING TO COMPLY WITH AS 3740-2010 AND F1.7 FROM NCC VOL.1.
- FLOORING WITH 150mm MIN COVING FLOOR REFER FINISHES SCHEDULE ON PAGE A5.01.
- IN AN EMERGENCY THE DOORS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF THE SANITARY COMPARTMENT AND THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE.
- CUBICLE DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A SNIB CATCH.
- BRaille SIGNAGE TO AMENITY DOORS AS PER BRaille SCHEDULE ON PAGE A6.01.
- FOR DESCRIPTION OF ITEM CODES REFER TO FITTINGS AND FIXTURES SCHEDULE.
- FEMALE/UNISEX TOILETS MUST BE PROVIDED WITH A MEANS OF DISPOSAL OF SANITARY TOWELS.
- COAT HOOKS MUST BE INSTALLED AT A HEIGHT BETWEEN 1200mm AND 1350mm FROM THE FINISHED FLOOR LEVEL.

PRELIMINARY ISSUE

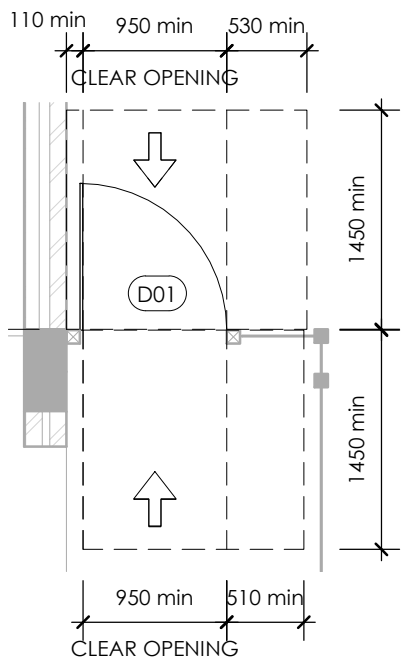
A	19/09/23	CLIENT REVIEW
PROJECT		
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK		
CLIENT		
MERRI-BEK CITY COUNCIL		
SHEET		
FIRST AID AND UMPIRE ROOM DETAILS		
DATE	19/09/23	
JOB NUMBER	12229	
DRAWN BY	JB	
CHECKED BY	SS	
TO SCALE ON	A2	
DRAWING NUMBER	DD A8.05	VERSION NUMBER A



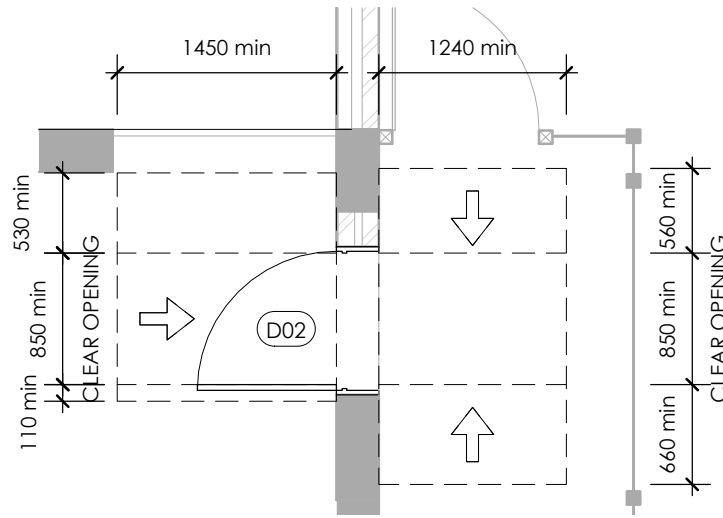
CONSTRUCTION & BUILDING DESIGN PTY LTD

1 BELL STREET BRUNSWICK VICTORIA 3056  
PH 03 9380 8855  
DP-AD: 1177

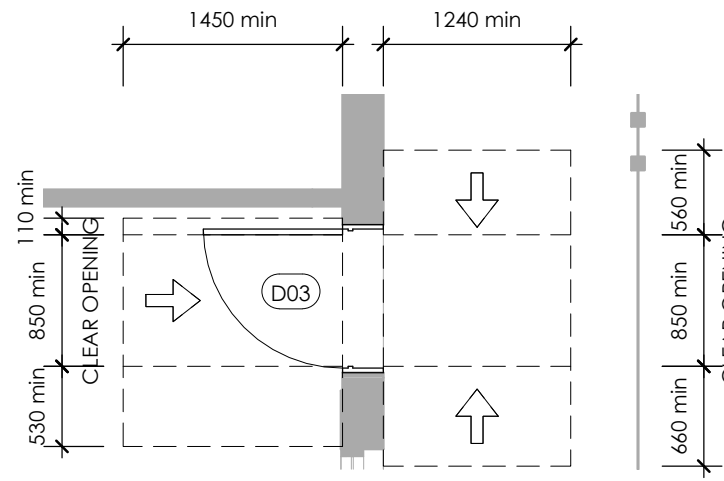




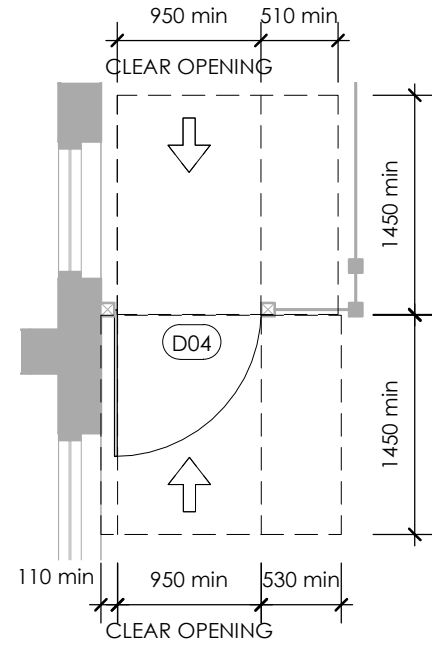
D01  
1 : 50



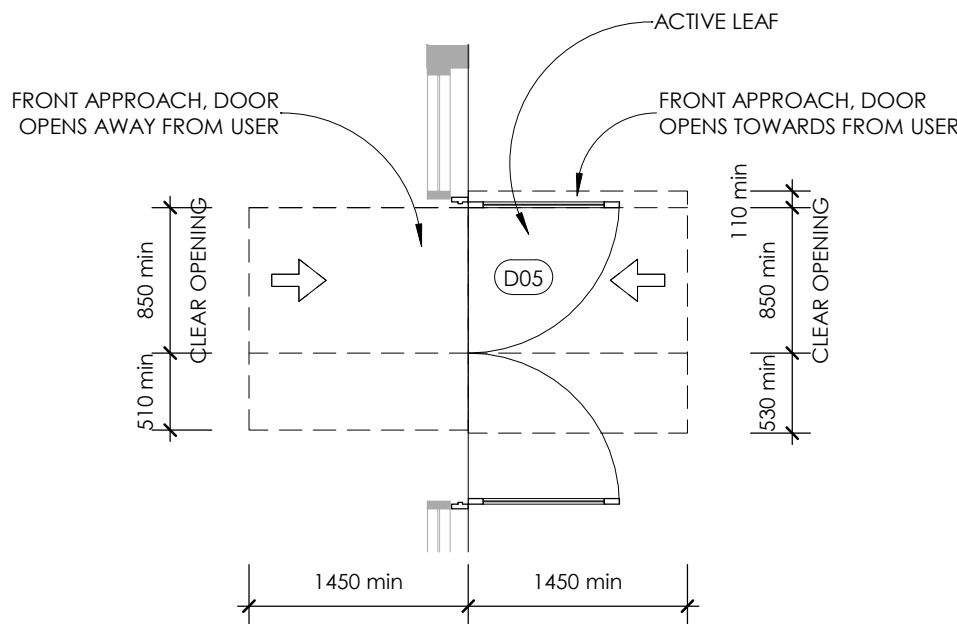
D02  
1 : 50



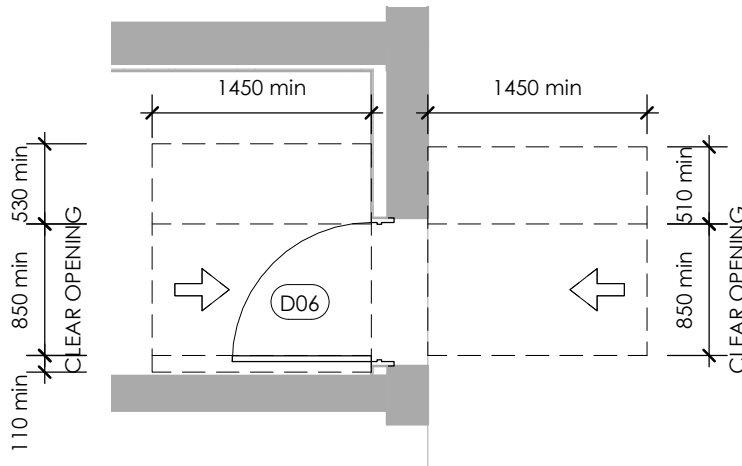
D03  
1 : 50



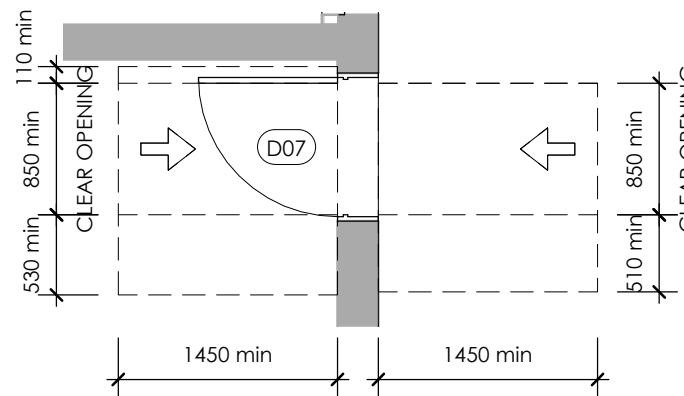
D04  
1 : 50



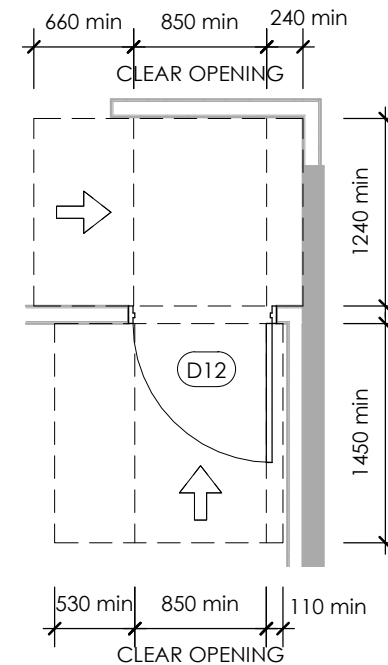
D05  
1 : 50



D06  
1 : 50



D07  
1 : 50



D12  
1 : 50

## PRELIMINARY ISSUE

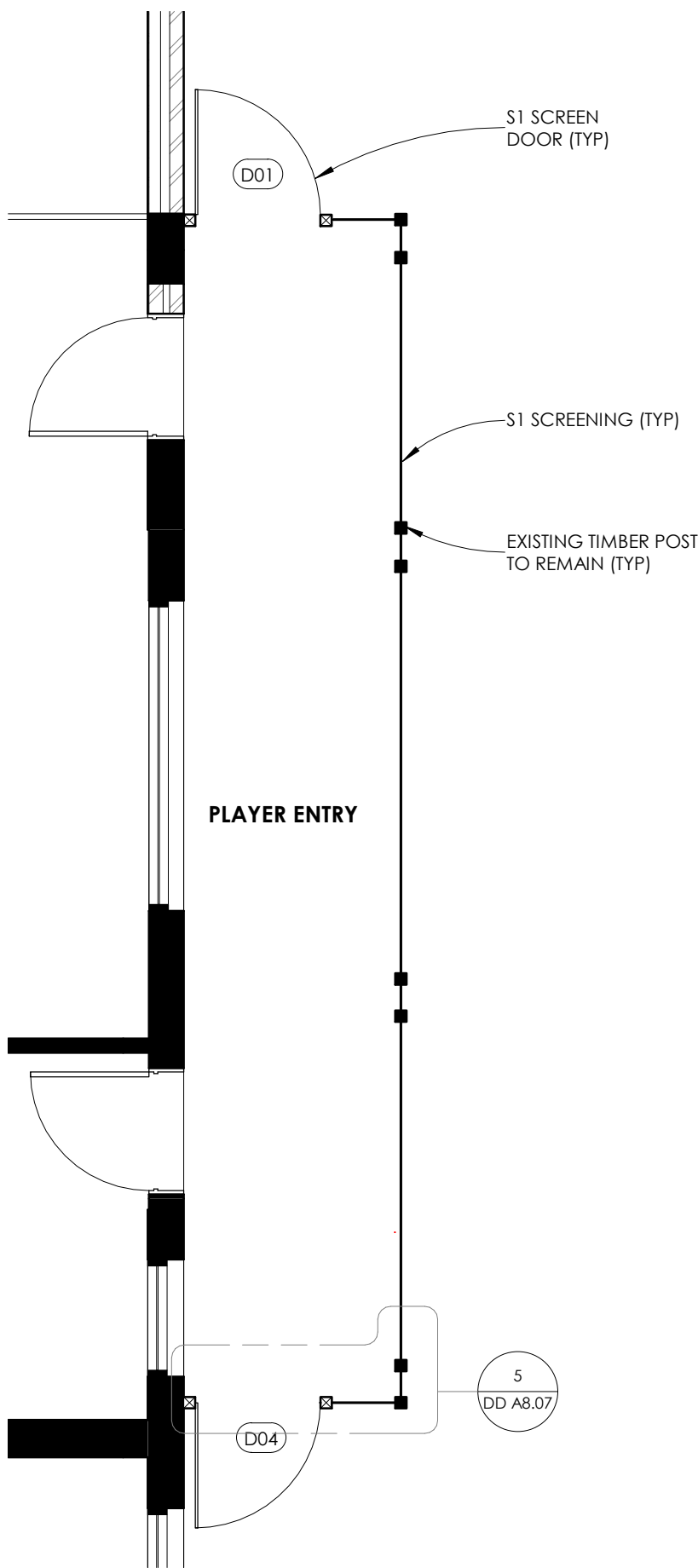
A	19/09/23	CLIENT REVIEW
<b>PROJECT</b>		
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK		
<b>CLIENT</b>		
MERRI-BEK CITY COUNCIL		
<b>SHEET</b>		
<b>DOOR CIRCULATIONS</b>		
DATE	19/09/23	
JOB NUMBER	12229	
DRAWN BY	JB	
CHECKED BY	SS	
TO SCALE ON	A2	
DRAWING NUMBER	DD A8.06	VERSION NUMBER A
CONSTRUCTION & BUILDING DESIGN PTY LTD		
1 BELL STREET BRUNSWICK VICTORIA 3056		
PH 03 9380 8855		
DP-AD: 1177		



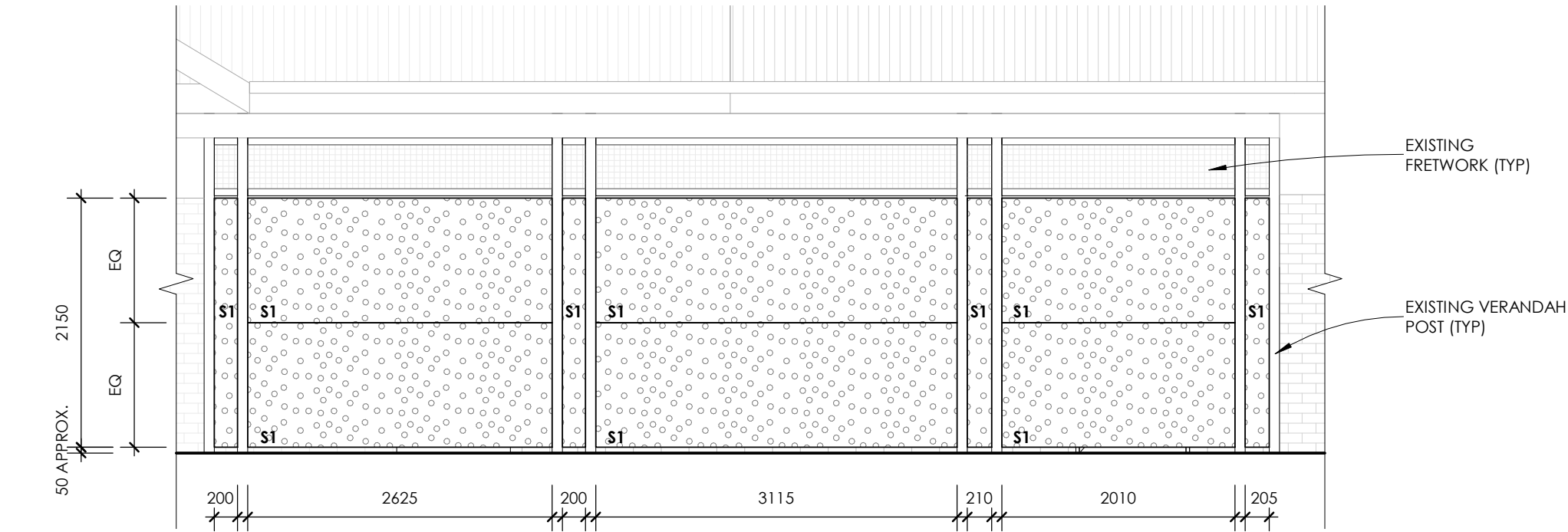
PANEL SCHEDULE						
KEY	DESCRIPTION	PRODUCT	FINISH	MATERIAL	THICKNESS	OPEN AREA
S1	SCREEN	LOCKER - TITAN 120	POWDERCOATED IN SURFMIST	ALUMINIUM	3mm	49%

FOR MORE INFORMATION REFER TO FINISHES PLAN & SCHEDULE ON A6.01

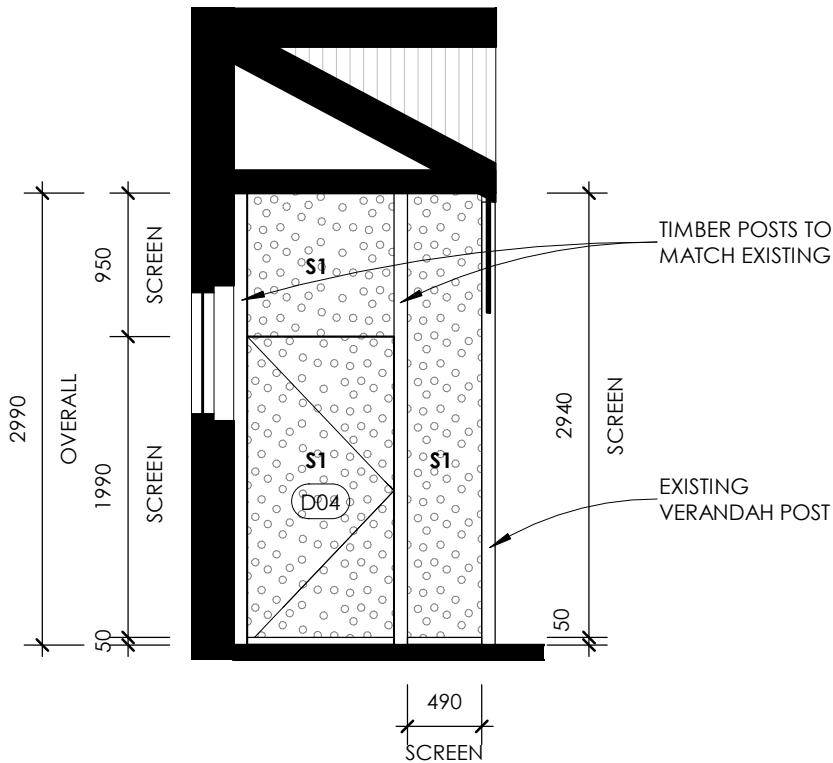
NOTE: DIMENSIONS ARE APPROXIMATE AND ARE TO BE CONFIRMED ON SITE



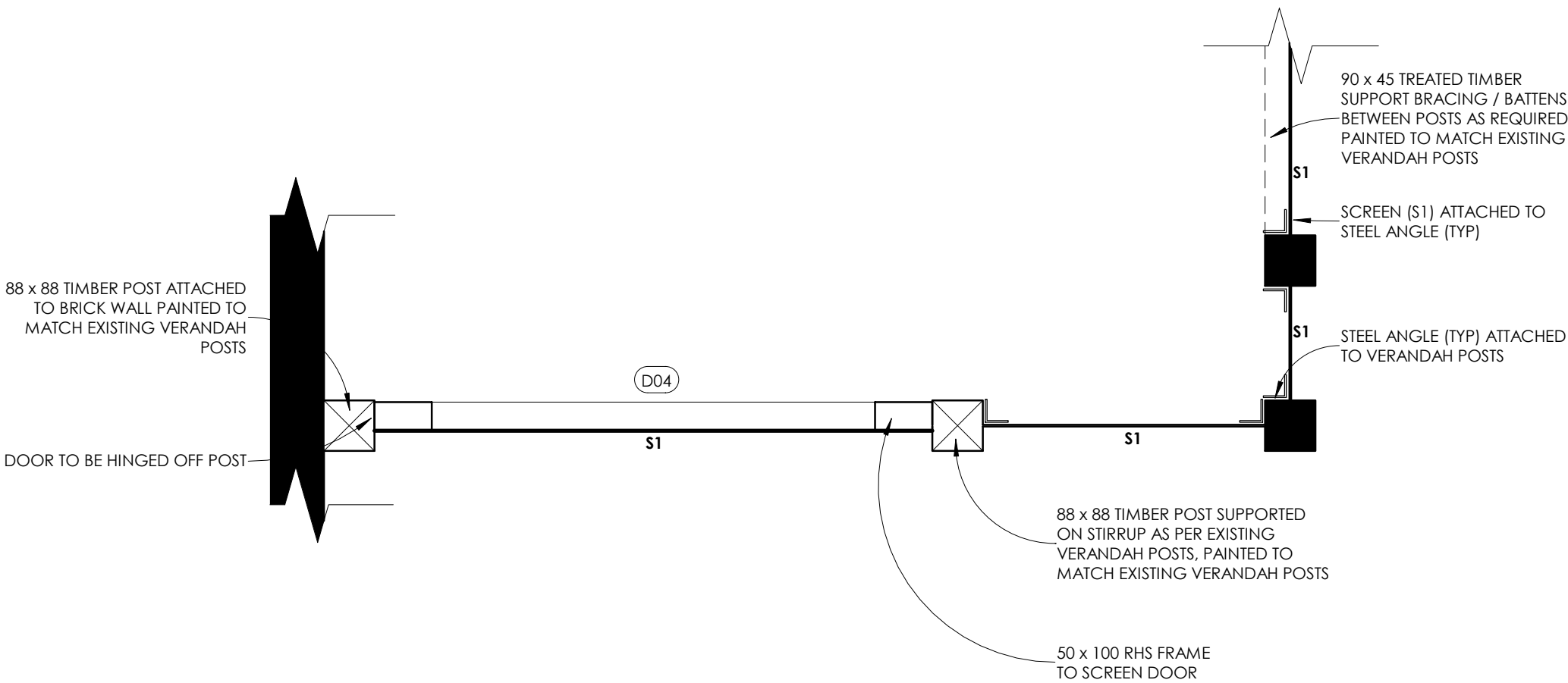
PROPOSED SCREENING PLAN  
1 : 50



SCREENING ELEVATION B  
1 : 50



SCREENING ELEVATION A  
1 : 50 (TYPICAL FOR DOOR D01)



SCREENING CALLOUT DETAIL  
1 : 10 (TYPICAL FOR DOOR D01)

PRELIMINARY ISSUE

A	19/09/23	CLIENT REVIEW
PROJECT		
DETAILED DESIGN DRAWINGS PAVILION REFURBISHMENT RAYNER RESERVE 46A DEVON ROAD, OAK PARK		
CLIENT		
MERRI-BEK CITY COUNCIL		
SHEET		
PLAYER ENTRY SCREEN DETAILS		
DATE	19/09/23	
JOB NUMBER	12229	
DRAWN BY	JB	
CHECKED BY	SS	
TO SCALE ON	A2	
DRAWING NUMBER	DD A8.07	VERSION NUMBER A
CONSTRUCTION & BUILDING DESIGN PTY LTD		
1 BELL STREET BRUNSWICK VICTORIA 3056		
PH 03 9380 8855		
DP-AD: 1177		