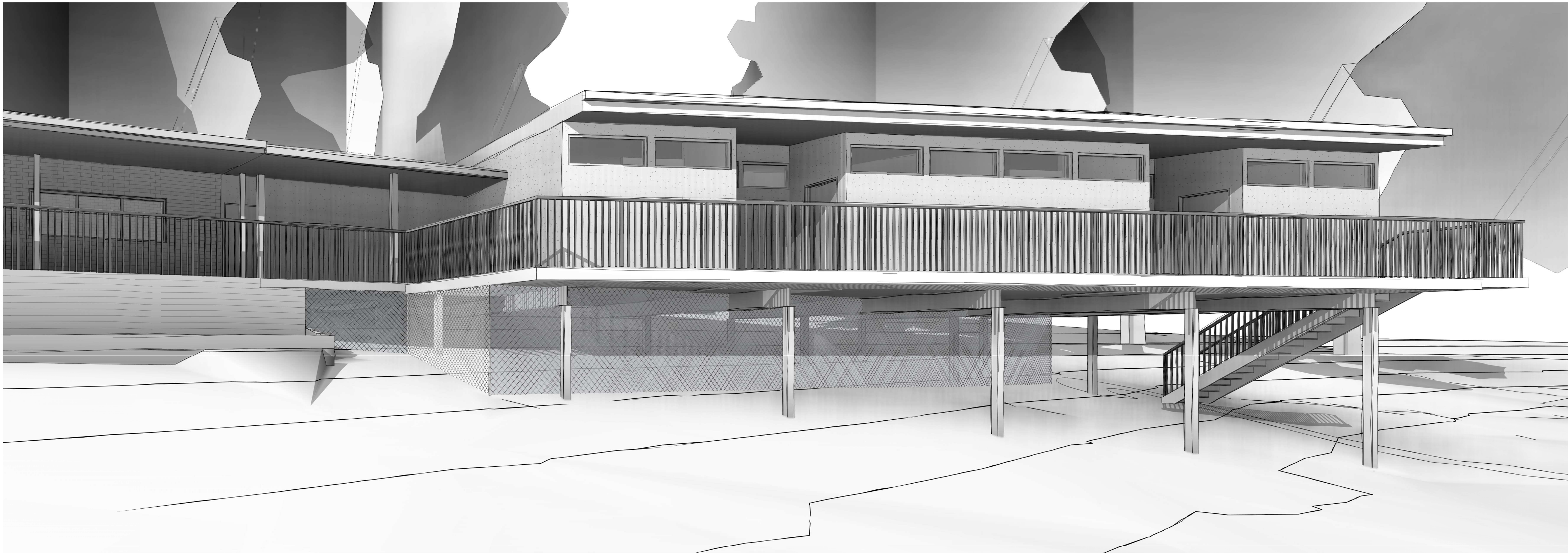


SUMNER PARK PAVILION CHANGEROOM ADDITION

TENDER DOCUMENTATION
ALISTER ST, BRUNSWICK EAST



ARTIST IMPRESSION

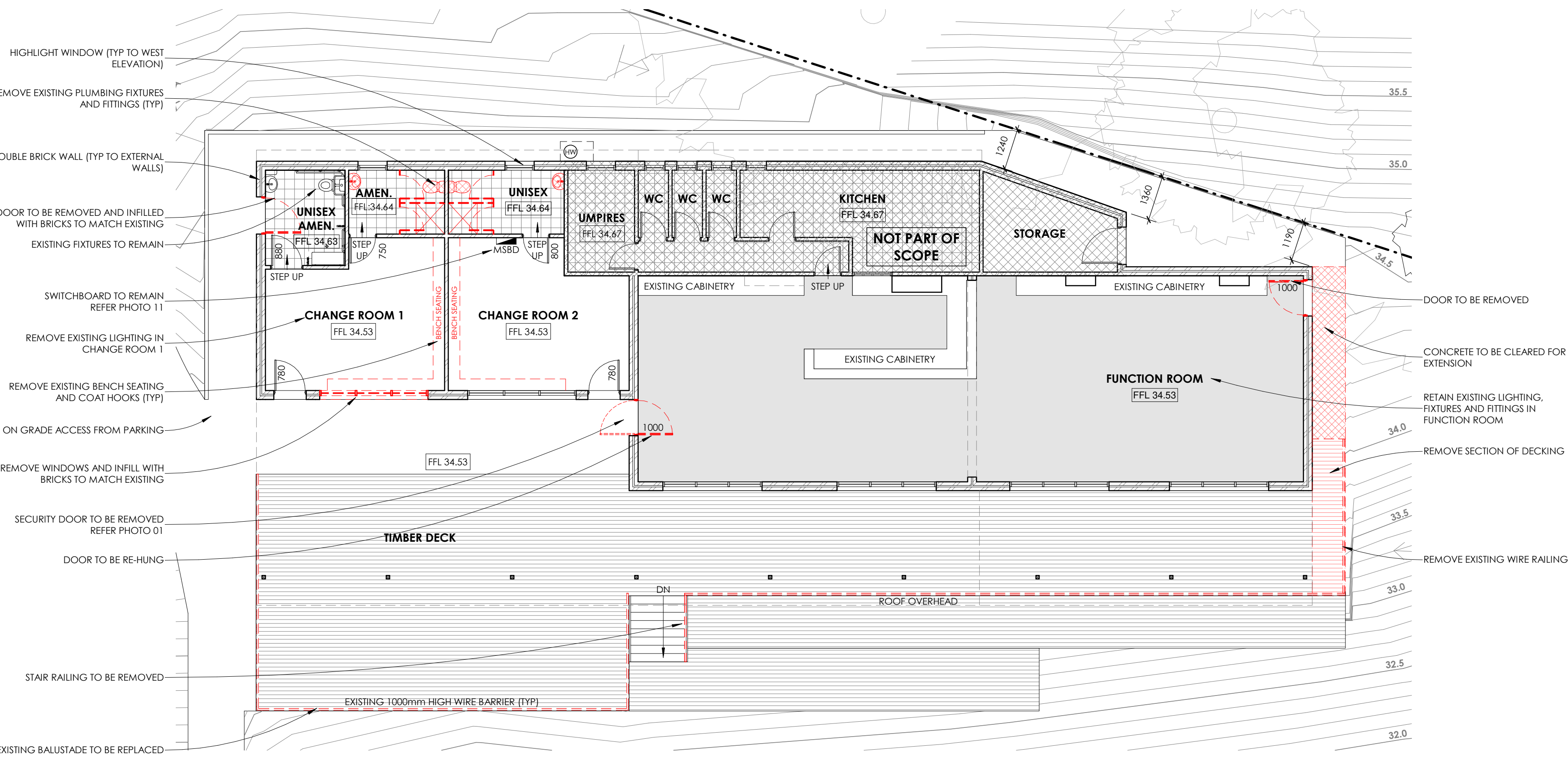


LOCATION PLAN
N.T.S

DRAWING LIST		
SHEET NO.	SHEET NAME	REVISION
A0.01	COVER PAGE	C
A1.01	EXISTING & DEMOLITION PLAN	B
A1.02	EXISTING CONDITIONS PHOTOS	B
A2.01	PROPOSED FLOOR PLAN	C
A2.02	PROPOSED FINISHES	B
A2.03	PROPOSED REFLECTED CEILING PLAN	B
A2.04	PROPOSED ROOF PLAN	B
A3.01	PROPOSED ELEVATIONS	C
A3.02	PROPOSED SECTIONS	B
A4.01	AMENITIES CALLOUTS	B

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A	08/09/21	PRELIM. TENDER DOCS
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TENDER DOCUMENTATION SUMNER PARK PAVILLION ALISTER STREET, BRUNSWICK EAST		
CLIENT		
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SHEET		
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EXISTING & DEMOLITION FLOOR PLAN

1 : 100

NOTE

- ALL CURRENT ACCESS TO THE BUILDING IS ON GRADE
- DIMENSIONS NEXT TO DOORS ARE CLEAR OPENING WIDTHS

FLOOR FINISHES

- TILES
- VINYL
- CONCRETE
- MODWOOD DECKING

LEGEND

- HOT WATER SYSTEM
- MAIN SWITCHBOARD

AREA ANALYSIS

- FUNCTION ROOM: 137m²
- KITCHEN: 21m²
- UMPIRES & WC: 21m²
- CHANGE ROOMS: 52m²
- AMENITIES: 24m²
- STORAGE: 11m²
- EXISTING BUILDING AREA: 266m²

DEMOLITION NOTES FOR COMMERCIAL BUILDINGS

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT BE LIMITED TO, THE BUILDING REGULATIONS 2018, THE NATIONAL CONSTRUCTION CODE SERIES 2019 VOLUME 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN. THESE SPECIFICATIONS SPECIFY ONLY THE MINIMUM STANDARD OF WORK FOR DEMOLITION WORKS, AND ALL WORKMANSHIP AND PRECAUTIONS SHALL BE TO BEST TRADE PRACTICE.

PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2601-2001: DEMOLITION OF STRUCTURES.

DURING THE PROGRESS OF THE DEMOLITION THE WORKS SHALL BE UNDER THE CONTINUOUS SUPERVISION OF THE DEMOLISHER OR OF AN EXPERIENCED FOREMAN AND THE DEMOLITION SHALL BE EXECUTED STOREY BY STOREY COMMENCING AT THE ROOF AND WORKING DOWNWARDS.

THE DEMOLITION MUST NOT BE COMMENCED UNTIL THE PRECAUTIONARY MEASURES HAVE BEEN INSPECTED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR.

THE DEMOLISHER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH, AS REQUIRED BY THE COUNCIL.

NO PART OF ANY EXTERNAL WALL ON OR WITHIN 3.00 METRES OF A STREET ALIGNMENT MAY BE PULLED DOWN EXCEPT DURING THE HOURS THAT THE RELEVANT BUILDING SURVEYOR DIRECTS.

PROTECTIVE OUTRIGGERS, FENCES, AWWINGS, HOARDING, BARRICADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR.

DUST CREATING MATERIAL, UNLESS THOROUGHLY DAMPENED DOWN, SHALL NOT BE THROWN OR DROPPED FROM THE BUILDING BUT SHALL BE LOWERED BY HOISTING APPARATUS OR REMOVED BY MATERIAL CHUTES. ALL CHUTES SHALL BE COMPLETELY ENCLOSED AND A DANGER SIGN SHALL BE AT THE DISCHARGE END OF EVERY CHUTE.

ALL PRACTICAL PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF A FRAMED OR PARTLY FRAMED BUILDING IS REMOVED.

DEMOLISHED MATERIAL SHALL NOT BE ALLOWED TO REMAIN ON ANY FLOOR OR STRUCTURE IF THE WEIGHT OF THE MATERIAL EXCEEDS THE SAFE CARRYING LOAD OF THE FLOOR OR STRUCTURE, AND SUCH MATERIAL SHALL NOT BE SO PILED OR STACKED THAT IT WILL ENDANGER WORKMEN OR OTHER PERSONS AND SHALL BE REMOVED AS SOON AS PRACTICABLE FROM THE SITE.

NO WALL, CHIMNEY OR OTHER STRUCTURE OR PART OF A STRUCTURE SHALL BE LEFT UNATTENDED OR UNSUPPORTED IN SUCH A CONDITION THAT IT MAY COLLAPSE DUE TO HIGH WIND OR VIBRATION OR OTHERWISE BECOME DANGEROUS.

BEFORE DEMOLITION IS COMMENCED AND ALSO DURING THE PROGRESS OF SUCH WORKS ALL ELECTRICAL CABLE OR APPARATUS WHICH ARE LIABLE TO BE A SOURCE OF DANGER - OTHER THAN CABLE OR APPARATUS USED FOR THE DEMOLITION WORKS - SHALL BE DISCONNECTED.

ARRANGEMENTS SHALL BE MADE WITH THE RELEVANT ELECTRICAL SUPPLY AUTHORITY FOR THE DISCONNECTION OF ELECTRICAL MAINS SUPPLY EXCEPT THAT, WHERE PARTIAL DEMOLITION IS PROPOSED, THE LICENSED ELECTRICAL CONTRACTOR SHALL SATISFY THE RELEVANT ELECTRICAL SUPPLY AUTHORITY THAT THE PORTION OF THE BUILDING TO BE DEMOLISHED HAS BEEN ISOLATED.

THE DEMOLISHER SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF ALL TELECOMMUNICATION SUPPLIES.

THE DEMOLISHER SHALL BE RESPONSIBLE TO CUT AND SEAL ANY STORM WATER, SEWER PIPES, WATER SERVICES, GAS SERVICES AND THE LIKE.

THE POSITION OF CAPPED SEWER AND STORM WATER DRAINS, SEALED OFF WATER SUPPLY LINES, GAS SUPPLY LINES AND THE LIKE ARE TO BE CLEARLY MARKED ON THE SITE.

ANY SEPTIC TANKS ON THE DEMOLITION SITE SHALL BE EMPTIED AND FILLED WITH CLEAN SAND, OR REMOVED ENTIRELY, AND ANY SOAK WELLS, LEACH DRAINS OR SIMILAR APPARATUS SHALL BE REMOVED OR FILLED WITH CLEAN SAND.

ANY SWIMMING POOLS, PONDS OR THE LIKE EITHER ON THE DEMOLITION SITE OR ON THE NEIGHBOURING ALLOTMENTS WHERE AFFECTED BY THE DEMOLITION WORKS SHALL BE ADEQUATELY FENCED AND MADE SAFE, SO AS TO COMPLY WITH AS 1926.1 - PART 1 FENCING FOR SWIMMING POOLS PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORKS.

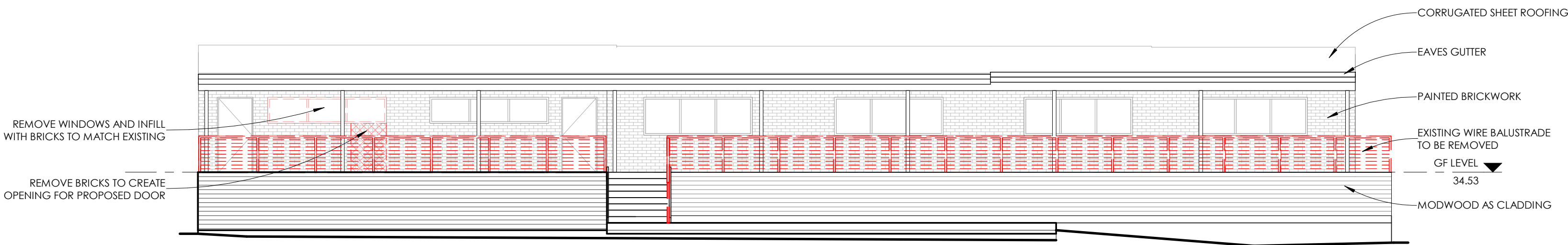
MATERIALS REMOVED OR DISPLACED FROM THE BUILDING SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY AND, BEFORE COMMENCING, WHERE REQUIRED SHALL BE KEPT SPRAYED WITH WATER AS TO PREVENT ANY NUISANCE FROM DUST.

MATERIALS REMOVED OR DISPLACED FROM THE BUILDING BEING DEMOLISHED OR MATERIALS LEFT STANDING SHALL NOT BE BURNED ON THE DEMOLITION SITE.

REMOVAL OF BUILDINGS BY ROAD MUST BE APPROVED BY THE RELEVANT COUNCILS TRAFFIC ENGINEER.

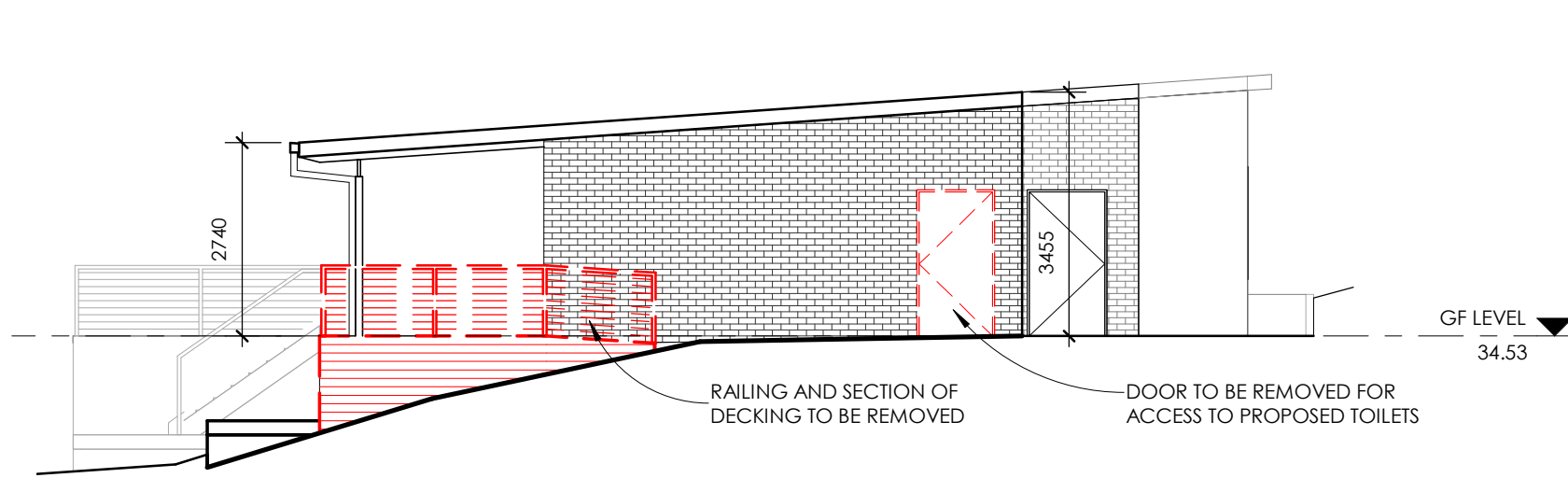
A SITE MANAGEMENT PLAN IS TO BE IMPLEMENTED DURING DEMOLITION WORKS TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH EPA VICTORIA PUBLICATION #275: CONSTRUCTION TECHNIQUES FOR SEDIMENT POLLUTION CONTROL. PROVIDE 'PROPEX' OR EQUIVALENT SILT FENCES TO THE LOW SIDE OF THE ALLOTMENT AND AROUND SOIL STOCKPILES AND STORM WATER INLET PUMPS/SUMPS AND INSTALL 'SILT STOP' FILTER BAGS OVER ALL STORM WATER ENTRY PITS DURING DEMOLITION WORKS. 'SUPERGRG' OR EQUIVALENT EROSION CONTROL FABRIC TO BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION DURING THE REVEGETATION PERIOD.

IT IS THE BUILDER'S RESPONSIBILITY TO CARRY OUT AN AUDIT PRIOR TO THE COMMENCEMENT OF ANY WORKS TO DETERMINE IF ASBESTOS IS PRESENT IN THE EXISTING WORKS. WHERE ANY ASBESTOS PRODUCT IS FOUND IN THE PROPOSED WORKS AREA DURING INITIAL INSPECTION OR DURING THE COURSE OF THE DEMOLITION WORKS THE BUILDER SHALL ENGAGE AN AUTHORISED AND REGISTERED CONTRACTOR FOR SAFE REMOVAL AND LAWFUL DISPOSAL.



EXISTING & DEMOLITION EAST ELEVATION

1 : 100



EXISTING & DEMOLITION NORTH ELEVATION

1 : 100

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PHOTO 01 - FUNCTION ROOM ENTRY



PHOTO 02 - EAST FACADE FROM SOUTH



PHOTO 03 - EAST FACADE FROM SOUTH



PHOTO 04 - EAST FACADE



PHOTO 05 - NORTH EAST FACADE



PHOTO 06 - DECK TO BUILDING CONNECTION



PHOTO 07 - EAST FACADE FROM NORTH



PHOTO 08 - SOUTH FACADE



PHOTO 09 - WEST FACADE

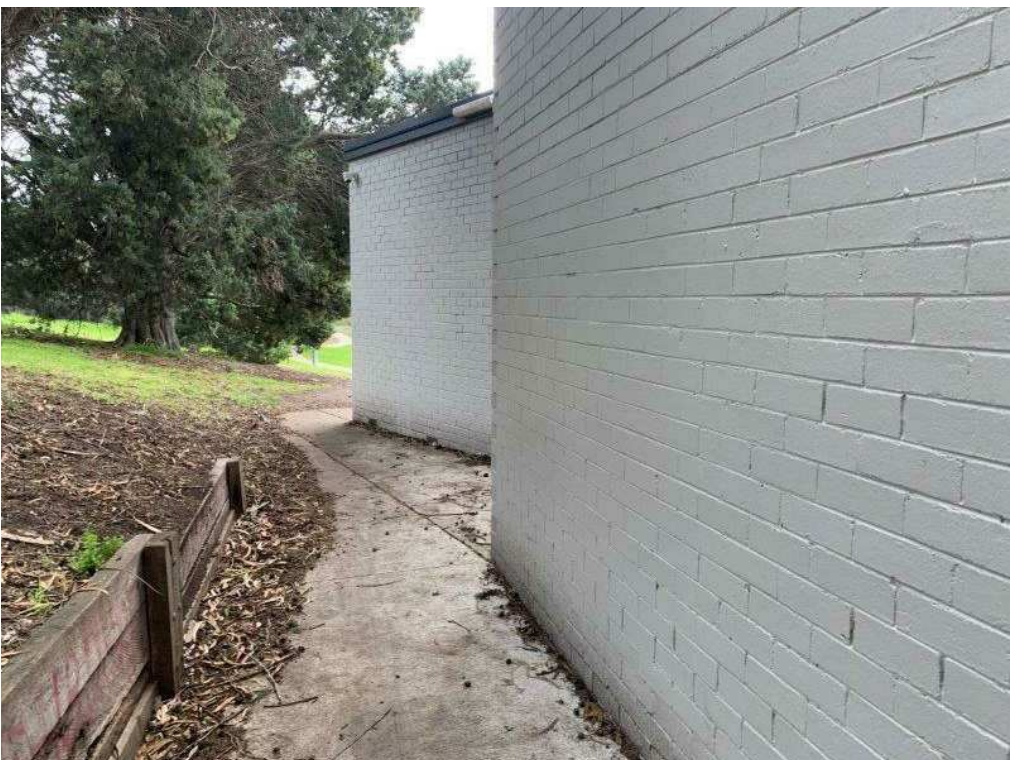


PHOTO 10 - WEST FACADE

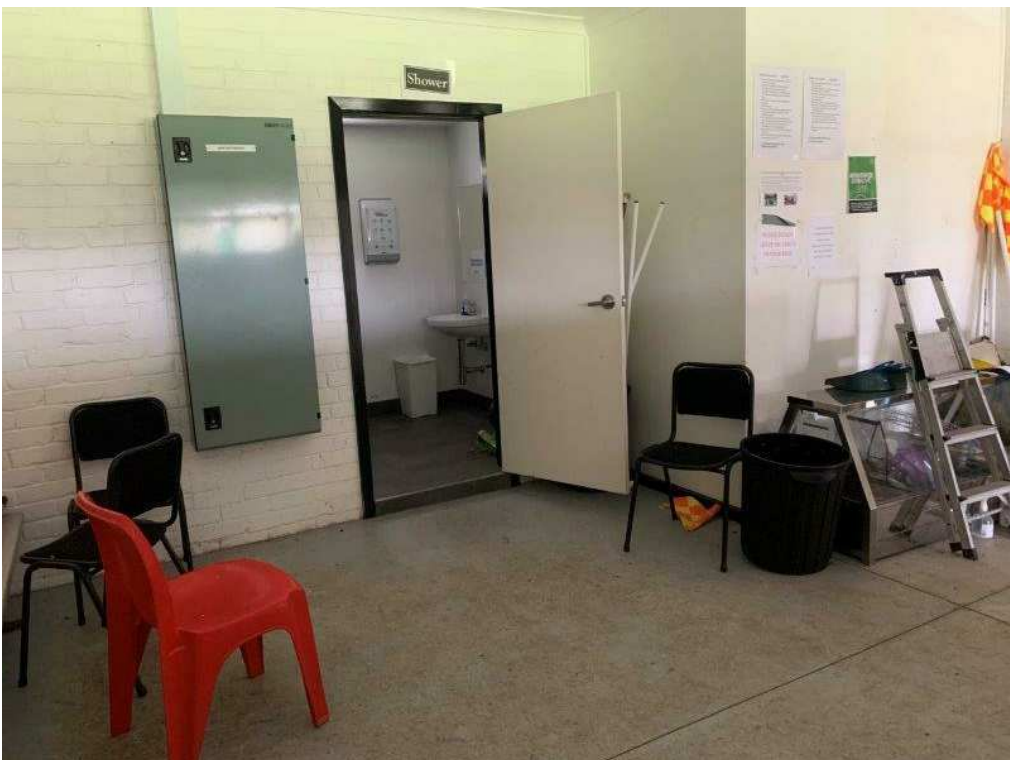


PHOTO 11 - CHANGE ROOM 2



PHOTO 12 - CHANGE ROOM 2 AMENITIES



PHOTO 13 - CHANGE ROOM 2 STEP UP TO AMENITIES



PHOTO 14 - CHANGE ROOM 1



PHOTO 15 - CHANGE ROOM 1 UNISEX AMENITIES



PHOTO 16 - CHANGE ROOM 1 UNISEX AMENITIES



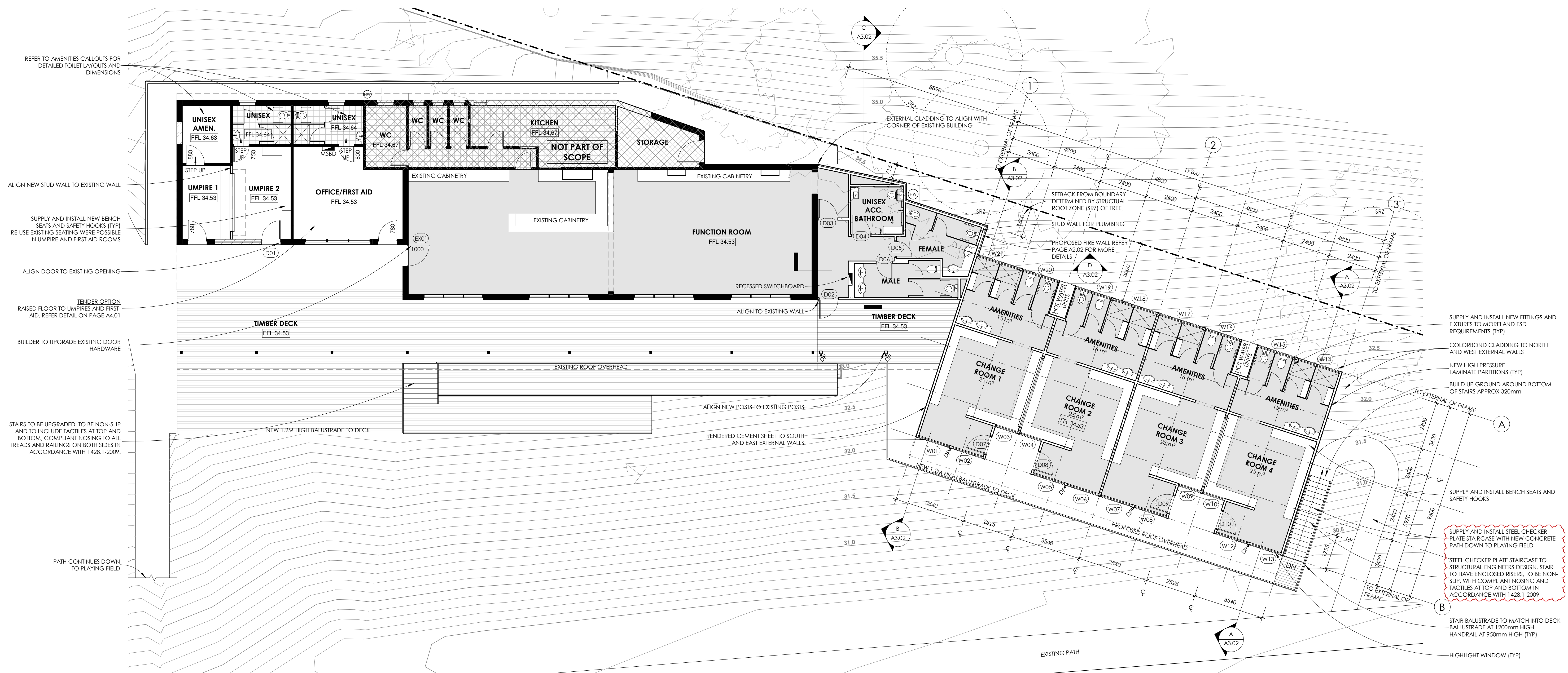
PHOTO 17 - CHANGE ROOM 1 STEP UP TO UNISEX AMENITIES



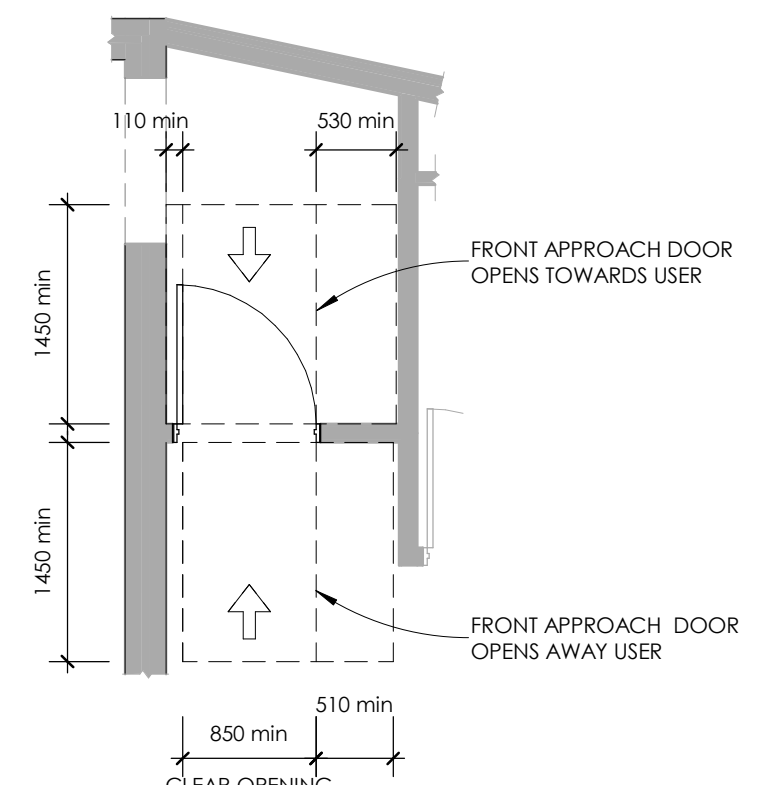
PHOTO 18 - CHANGE ROOM 1 AMENITIES

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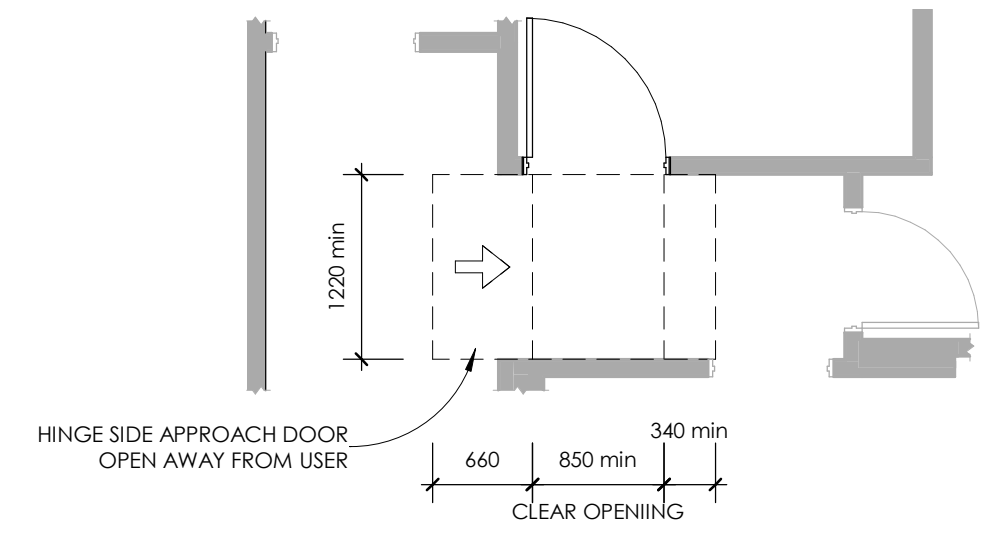
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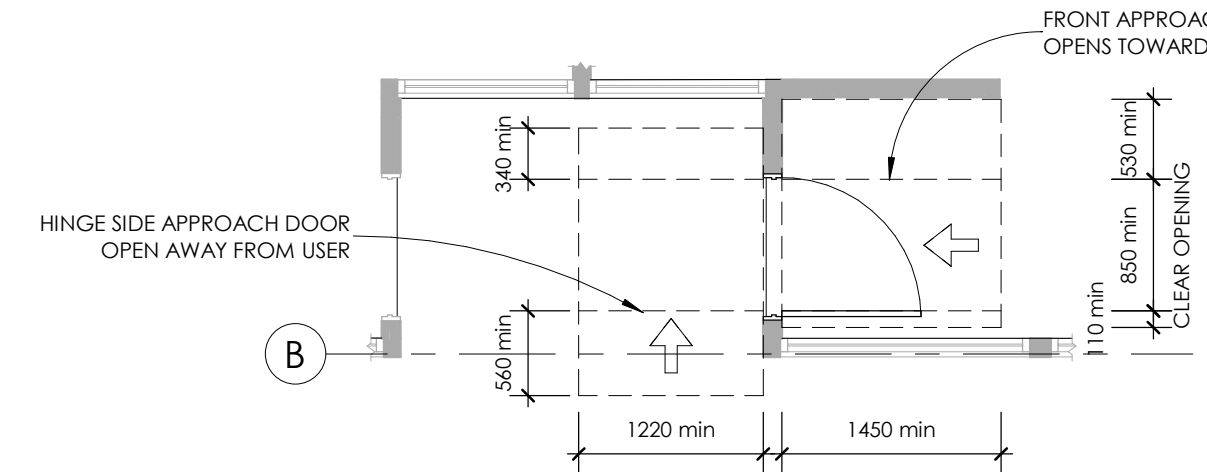
PROPOSED FLOOR PLAN
1 : 100



D03
1 : 50 FLIPPED FOR D02



D04
1 : 50



D08
1 : 50 TYPICAL FOR D07, D09 & D10

NOTE

- ALL EXISTING AND PROPOSED ACCESS TO THE BUILDING IS ON GRADE
- DIMENSIONS NEXT TO DOORS ARE CLEAR OPENING WIDTHS
- NEW FLOORING TO CHANGE ROOMS AND PUBLIC AMENITIES REFER PAGE A2.02 FOR SPECIFICATION

FLOOR FINISHES

- TILES
- VINYL
- CONCRETE
- MODWOOD DECKING

LEGEND

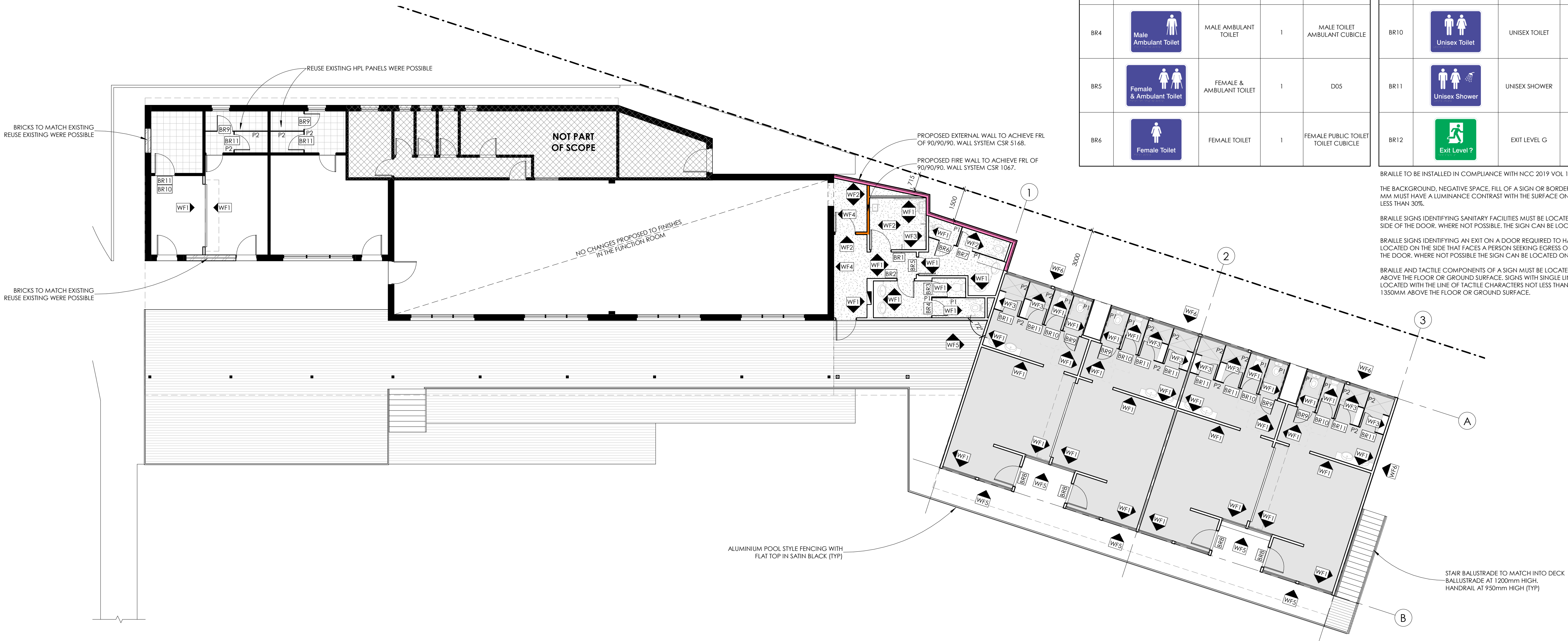
- HW HOT WATER SYSTEM
- MSBD MAIN SWITCHBOARD

AREA ANALYSIS

FUNCTION ROOM: 137m²
KITCHEN: 21m²
WC: 21m²
STORAGE: 11m²
OFFICE/FIRST AID: 26m²
UMPIRE: 26m²
UMPIRE AMENITIES: 24m²
PUBLIC AMENITIES: 43m²
CHANGE ROOMS: 108m²
CHANGE ROOM AMENITIES: 67m²
PROPOSED BUILDING AREA: 484m²

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PROPOSED FINISHES PLAN
1 : 100

FLOOR FINISHES

DESCRIPTION	AREA
MODWOOD DECKING BOARD 137mm WIDE BRUSHED SILVERGUM TO MATCH EXISTING	70M ²
VINYL TO MATCH EXISTING FUNCTION ROOM GERFLOR TARASAFE ULTRA OPAL ACHIEVES SLIP RATING OF P3/R10 WITH 150mm HIGH COVING	40M ²
EPOXY ALLNEX TERRAFLAKE EPOXY IN PITCH ADDITIONAL SLIP RESISTANT FINISHES REQUIRED TO ACHIEVE R RATING OF R11 WITH 150mm HIGH COVING	170M ²
RETAIN EXISTING FLOOR TILES	140L/M

AREAS ARE APPROXIMATE ONLY. THE BUILDER SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES TO ENSURE THAT THE FULL INTENT OF THE DESIGN IS SATISFIED.

WALL FINISHES

KEY	DESCRIPTION
WF1	FLOOR TO CEILING 13mm PLASTERBOARD DULUX LEXICON
WF2	FLOOR TO CEILING 16mm PLASTERBOARD DULUX LEXICON
NOTE:	SUBSTITUTE WITH GYPROCK AQUACHEK IN WET AREAS SUBSTITUTE WITH GYPROCK IMPACICHECK BEHIND BENCH SEATING
WF3	FLOOR TO 2100mm HIGH ARMSTRONG WALLFLEX COOL WHITE
WF4	EXISTING BRICK WALL TO BE CLEANED AND PAINTED DULUX LEXICON
WF5	FIBRE CEMENT SHEET PAINTED CALF SKIN TO MATCH EXISTING BUILDING
WF6	CORRUGATED COLORBOND WALL CLADDING SPANDEX PROFILE IN MONUMENT

KEY	DESCRIPTION
P1	HIGH PRESSURE COMPACT LAMINATE 200mm OFFSET FROM FLOOR 1900mm HIGH BATTALION
P2	HIGH PRESSURE COMPACT LAMINATE 2100mm HIGH BATTALION
BRx	REFER TO BRAILLE SCHEDULE
NOTE:	ALLOW TO PAINT EXISTING WALLS WHERE REQUIRED. ALL PROPOSED EXTERNAL DOORS TO BE PANTED DULUX DOMINO TO MATCH EXISTING ALL EXPOSED RAFTERS AND COLUMNS TO BE PANTED DULUX DOMINO TO MATCH EXISTING

REF	DESCRIPTION	QTY	LOCATION
BR1	UNISEX ACCESSIBLE TOILET - RIGHT HAND TRANSFER WITH SHOWER	1	D04
BR2	MALE & AMBULANT TOILET	1	D06
BR3	MALE TOILET	1	MALE TOILET TOILET CUBICLE
BR4	MALE AMBULANT TOILET	1	MALE TOILET AMBULANT CUBICLE
BR5	FEMALE & AMBULANT TOILET	1	D05
BR6	FEMALE TOILET	1	FEMALE PUBLIC TOILET TOILET CUBICLE

REF	DESCRIPTION	QTY	LOCATION
BR7	FEMALE AMBULANT TOILET	1	FEMALE TOILET AMBULANT CUBICLE
BR8	UNISEX TOILET, SHOWER & CHANGEROOM	4	D07 D08 D09 D10
BR9	UNISEX AMBULANT TOILET	10	D07 D08 D09 D10 UNISEX AMBULANT TOILET CUBICLES
BR10	UNISEX TOILET	5	UNISEX TOILET CUBICLES
BR11	UNISEX SHOWER	11	UNISEX SHOWER CUBICLES
BR12	EXIT LEVEL G	1	D02

BRAILLE TO BE INSTALLED IN COMPLIANCE WITH NCC 2019 VOL 1 AND AS1428.1.

THE BACKGROUND, NEGATIVE SPACE, FILL OF A SIGN OR BORDER WITH A MINIMUM WIDTH OF 5 MM MUST HAVE A LUMINANCE CONTRAST WITH THE SURFACE ON WHICH IT IS MOUNTED OF NOT LESS THAN 30%.

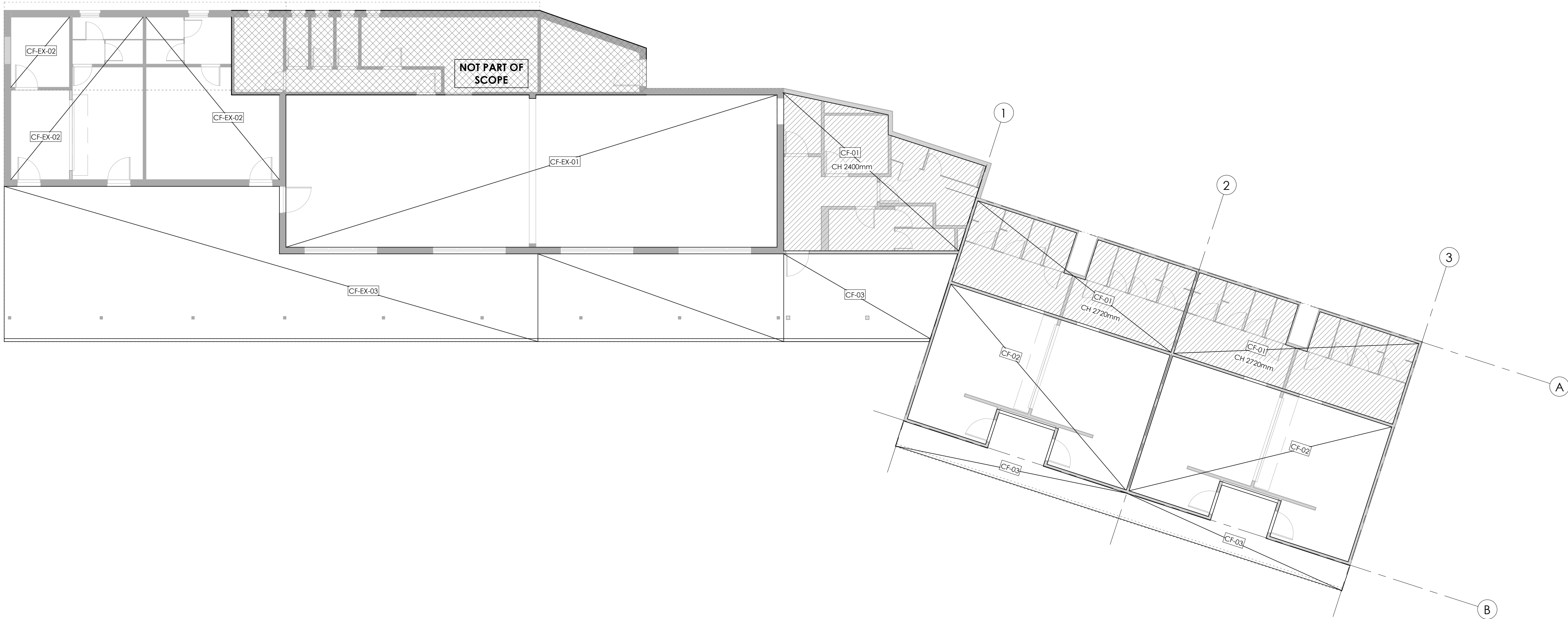
BRAILLE SIGNS IDENTIFYING SANITARY FACILITIES MUST BE LOCATED ON THE WALL ON THE LATCH SIDE OF THE DOOR. WHERE NOT POSSIBLE, THE SIGN CAN BE LOCATED ON THE DOOR ITSELF.

BRAILLE SIGNS IDENTIFYING AN EXIT ON A DOOR REQUIRED TO HAVE AN EXIT SIGN MUST BE LOCATED ON THE SIDE THAT FACES A PERSON SEEKING EGRESS ON THE WALL ON THE LATCH SIDE OF THE DOOR. WHERE NOT POSSIBLE THE SIGN CAN BE LOCATED ON THE DOOR ITSELF.

BRAILLE AND TACTILE COMPONENTS OF A SIGN MUST BE LOCATED BETWEEN 1200mm AND 1600mm ABOVE THE FLOOR OR GROUND SURFACE. SIGNS WITH SINGLE LINES OF CHARACTERS MUST BE LOCATED WITH THE LINE OF TACTILE CHARACTERS NOT LESS THAN 1250mm AND NOT HIGHER THAN 1350mm ABOVE THE FLOOR OR GROUND SURFACE.

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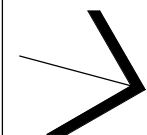



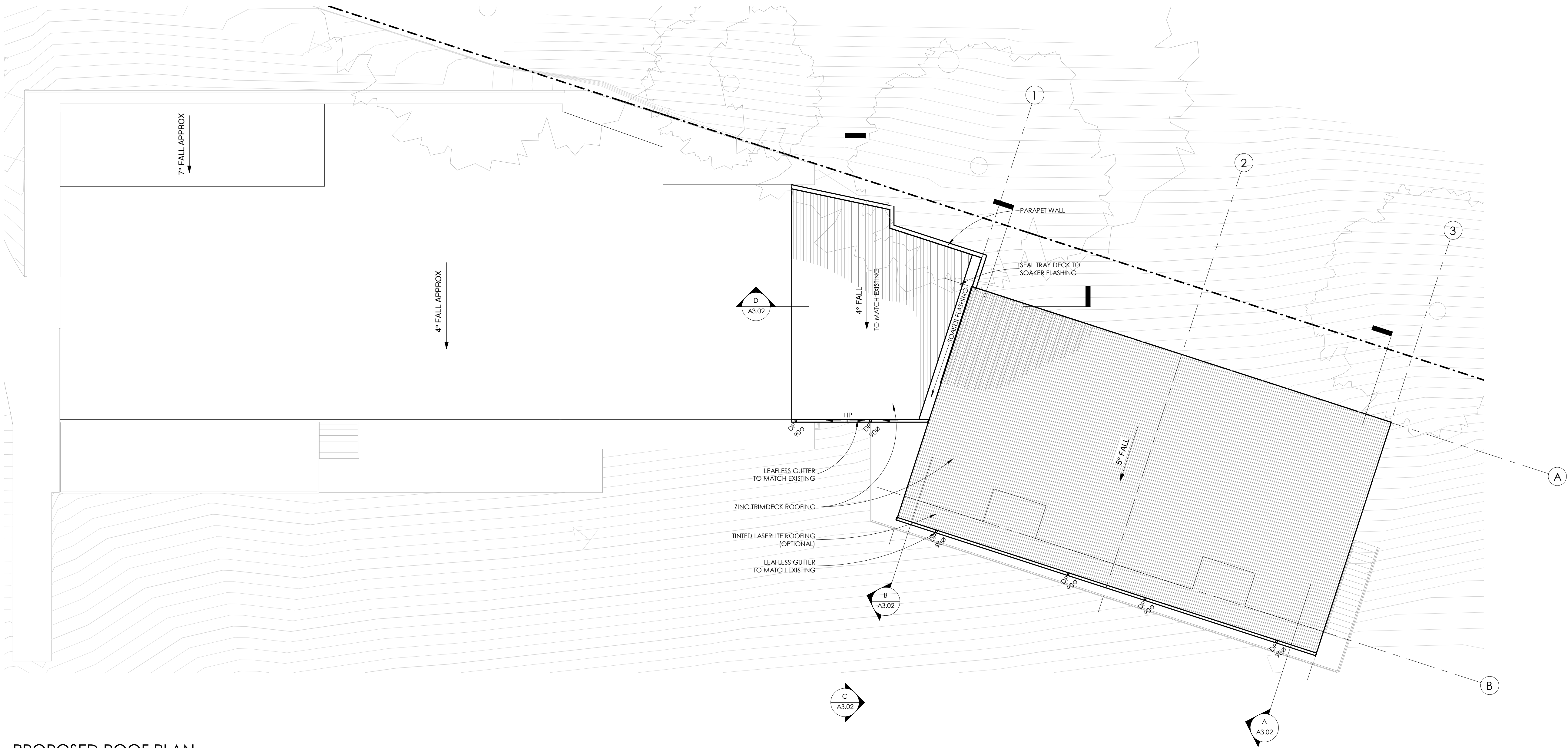
PROPOSED REFLECTED CEILING PLAN
1 : 100

CEILING FINISHES	
KEY	DESCRIPTION
CF-EX-01	EXISTING - LINING BOARDS PAINTED DULUX DOMINO
CF-EX-02	EXISTING - PLASTERBOARD PAINTED CEILING WHITE
CF-EX-03	EXISTING - NO CEILING LINING EXPOSED TO RAFTERS & CEILING BATTENS PAINTED DOMINO
CF-01	13 PLASTERBOARD PAINTED CEILING WHITE
CF-02	NO CEILING LINING EXPOSED TO RAFTERS & CEILING BATTENS
CF-03	NO CEILING LINING EXPOSED TO RAFTERS & CEILING BATTENS PAINTED DOMINO TO MATCH EXISTING

REFER TO SERVICES DRAWINGS BY ELEV8 FOR
LIGHTING, MECHANICAL AND EMERGNECY SERVICES

TENDER ISSUE

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PROPOSED ROOF PLAN
1 : 100

STORMWATER LEGEND	
KEY	DESCRIPTION
	DOWNPIPE SIZE INDICATED ON PLAN
	FALL OF GUTTER
	HIGHPOINT

NOTES:
EAVES GUTTER TO BE INSTALLED WITH A FALL NO LESS THAN 1:500
COMPLIANCE WITH NCC VOLUME 2, 3.5.2

DP LOCATIONS ARE INDICATIVE ONLY

DOWNPIPES TO BE LOCATED AT MAXIMUM 1200mm SPACINGS & WITHIN 1200mm OF ANY VALLEY JUNCTIONS

SECURE ALL DOWNPIPES TO WALLS WITH STRAPS/BRAKETS @1800mm MAXIMUM CENTRES.

CONNECT ALL DOWNPIPES TO APPROVED STORMWATER SYSTEM THAT IS CONNECTED TO LEGAL POINT OF DISCHARGE.

CONNECT STORMWATER SYSTEM TO LEGAL POINT OF DISCHARGE (LPD). ALL STORMWATER DRAINAGE TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AUTHORITIES' REGULATIONS AND AS/NZS 3500.3-2003.

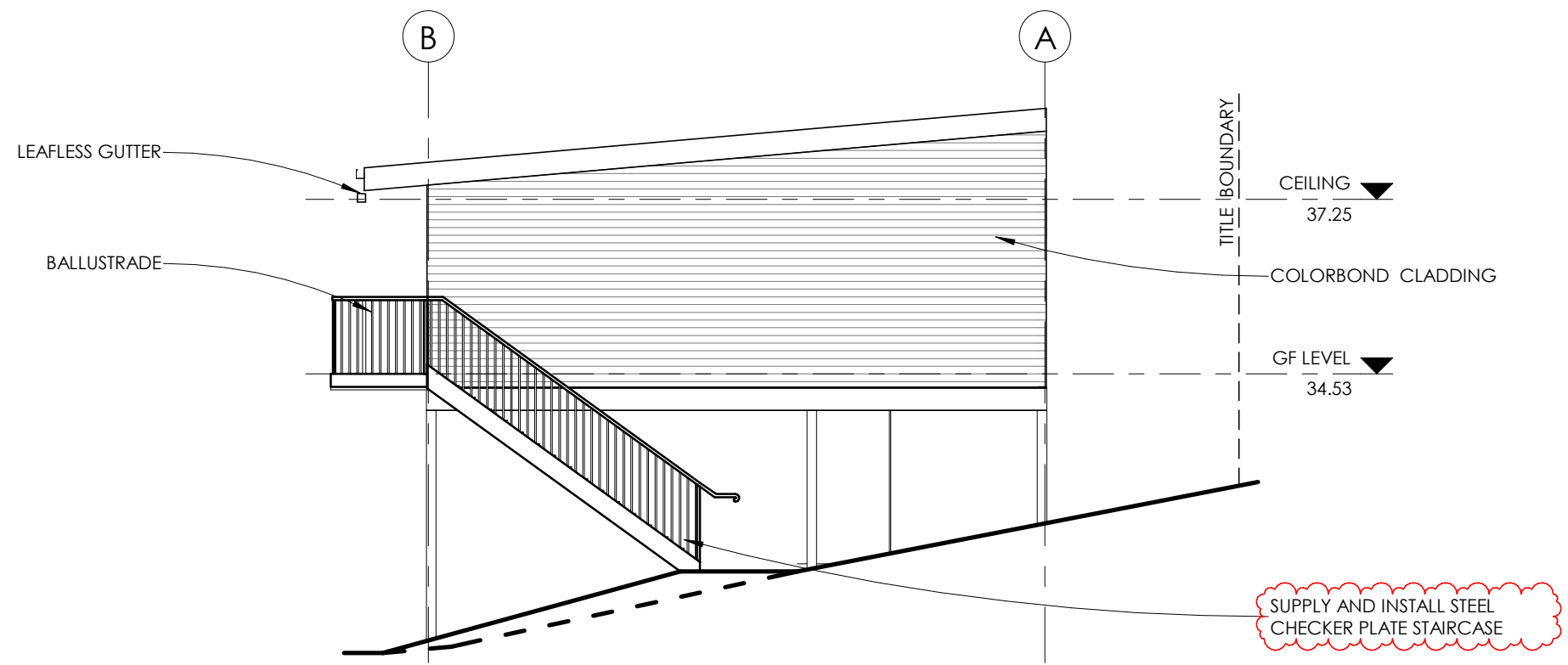
INSTALL FLASHINGS AS REQUIRED.

ROOF PLUMBER IS RESPONSIBLE FOR DESIGN, CONSTRUCTION AND CERTIFICATION OF ROOF DRAINAGE

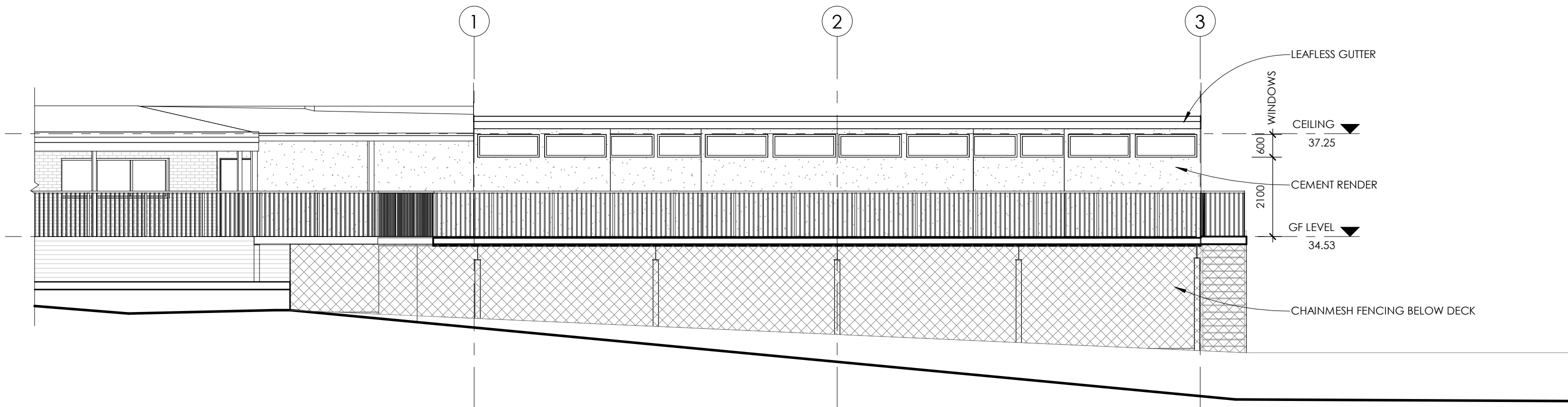
*GUTTERS, DOWNPIPES, FLASHINGS AND CAPPINGS ARE TO BE PAINTED DULUX DOMINO TO MATCH EXISTING

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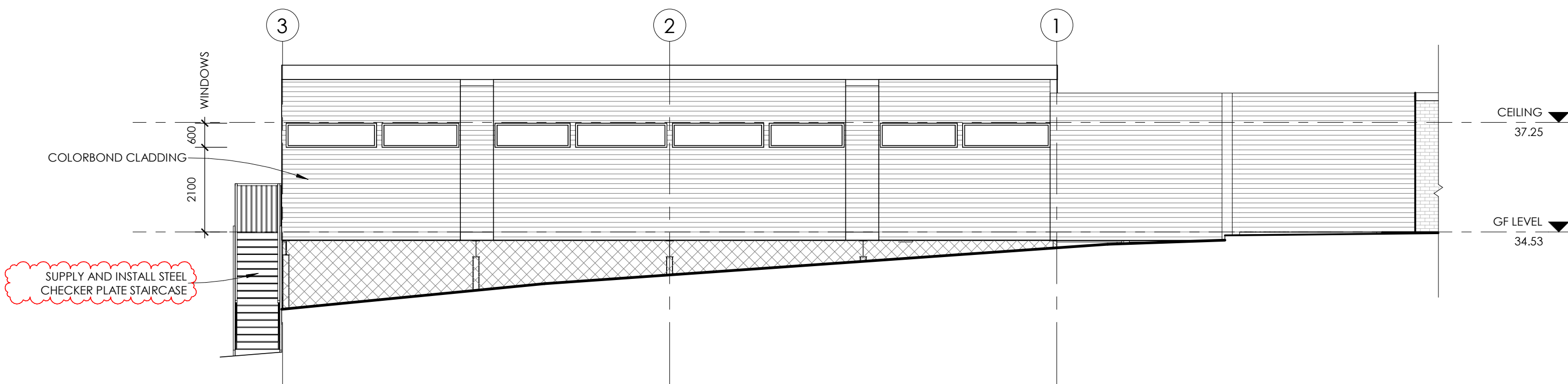
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PROPOSED NORTH ELEVATION
1 : 100



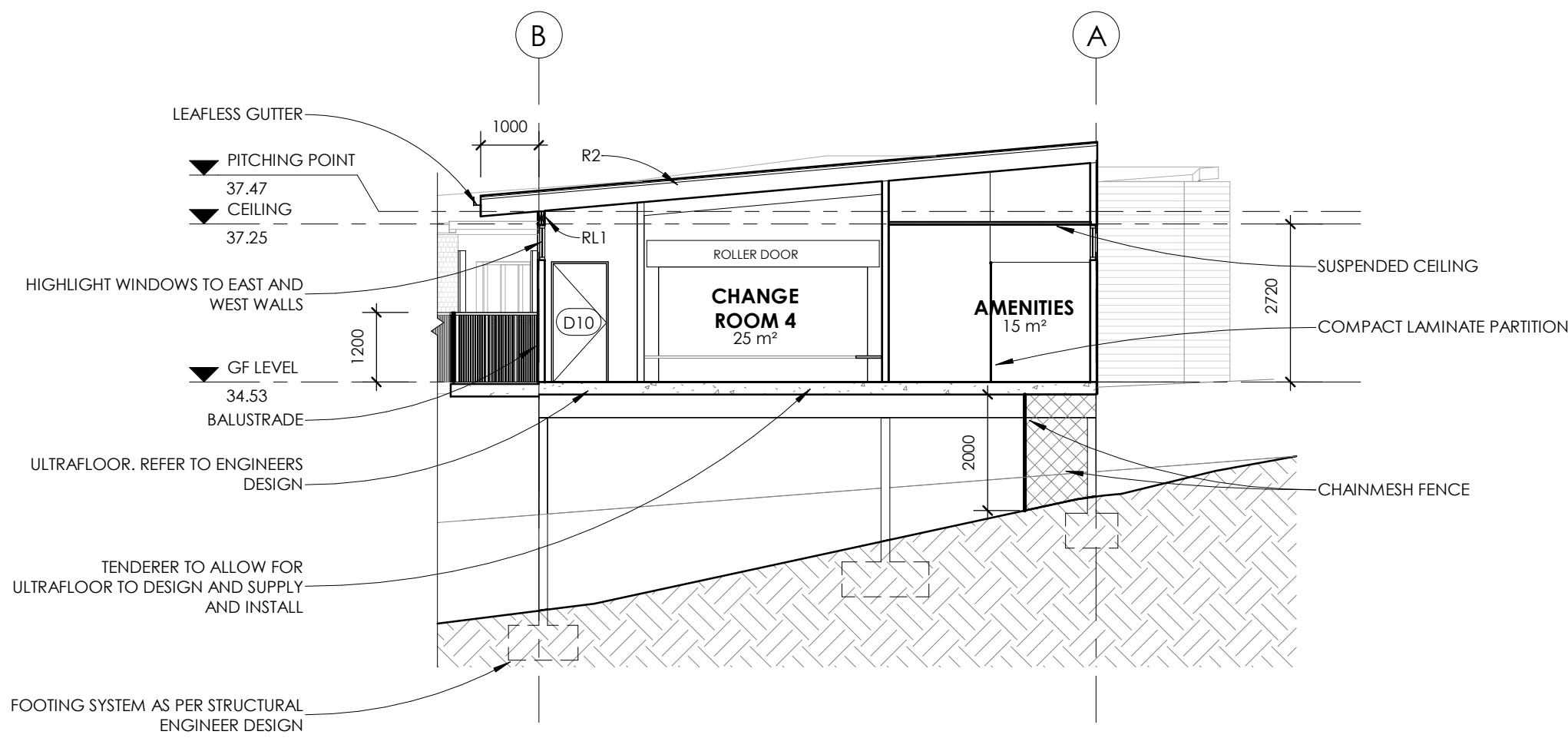
PROPOSED SOUTH ELEVATION
1 : 100



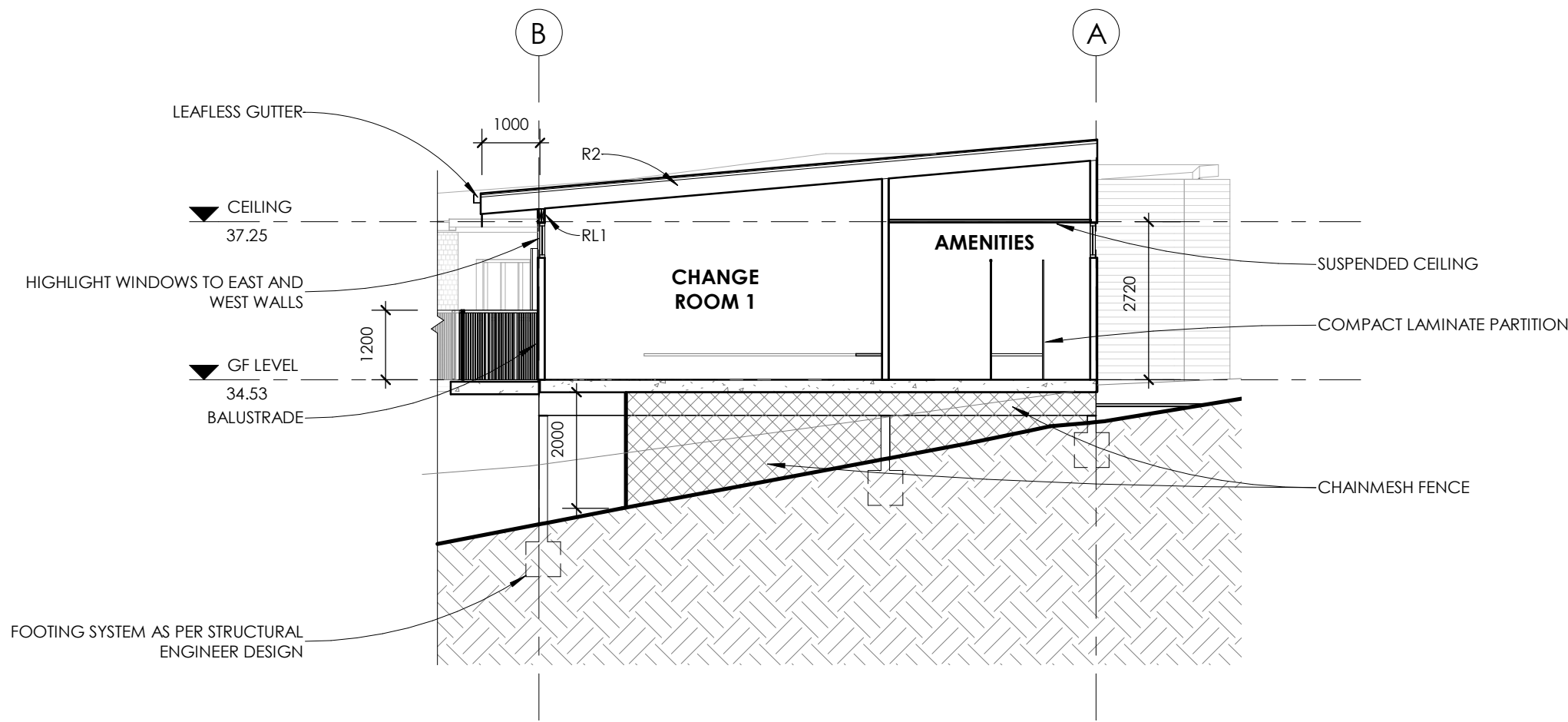
PROPOSED WEST ELEVATION
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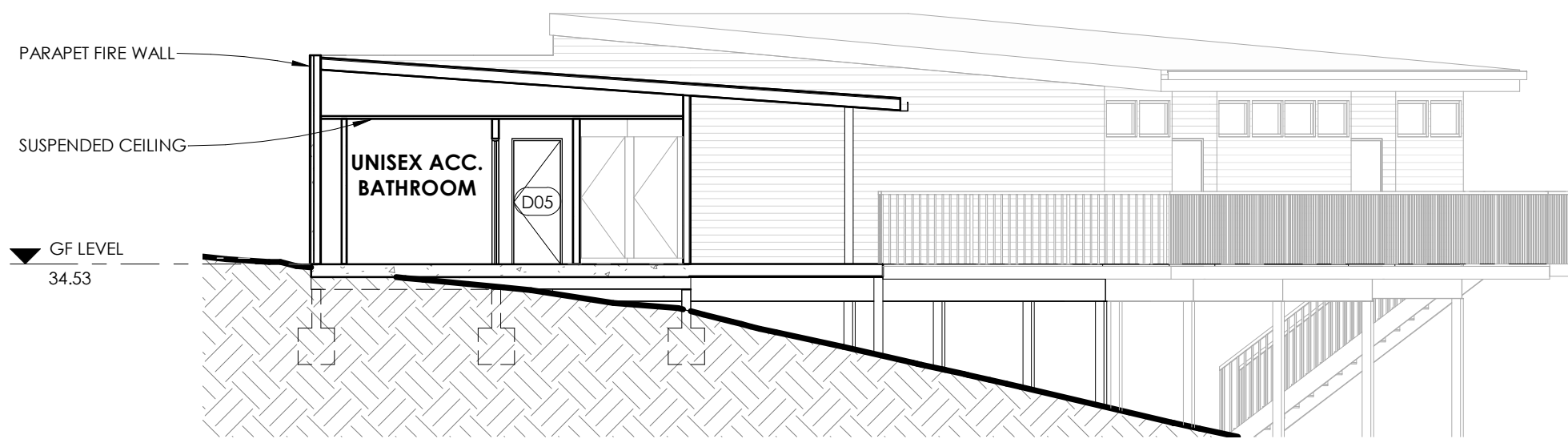
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PROPOSED SECTION A-A
1 : 100

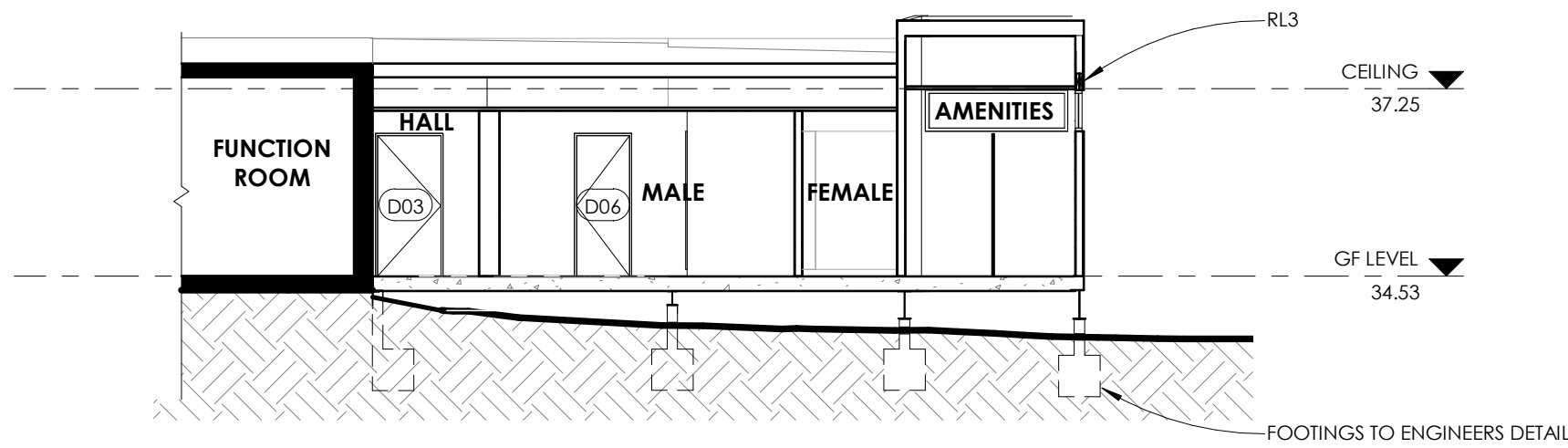


PROPOSED SECTION B-B
1 : 100



PROPOSED SECTION C-C
1 : 100

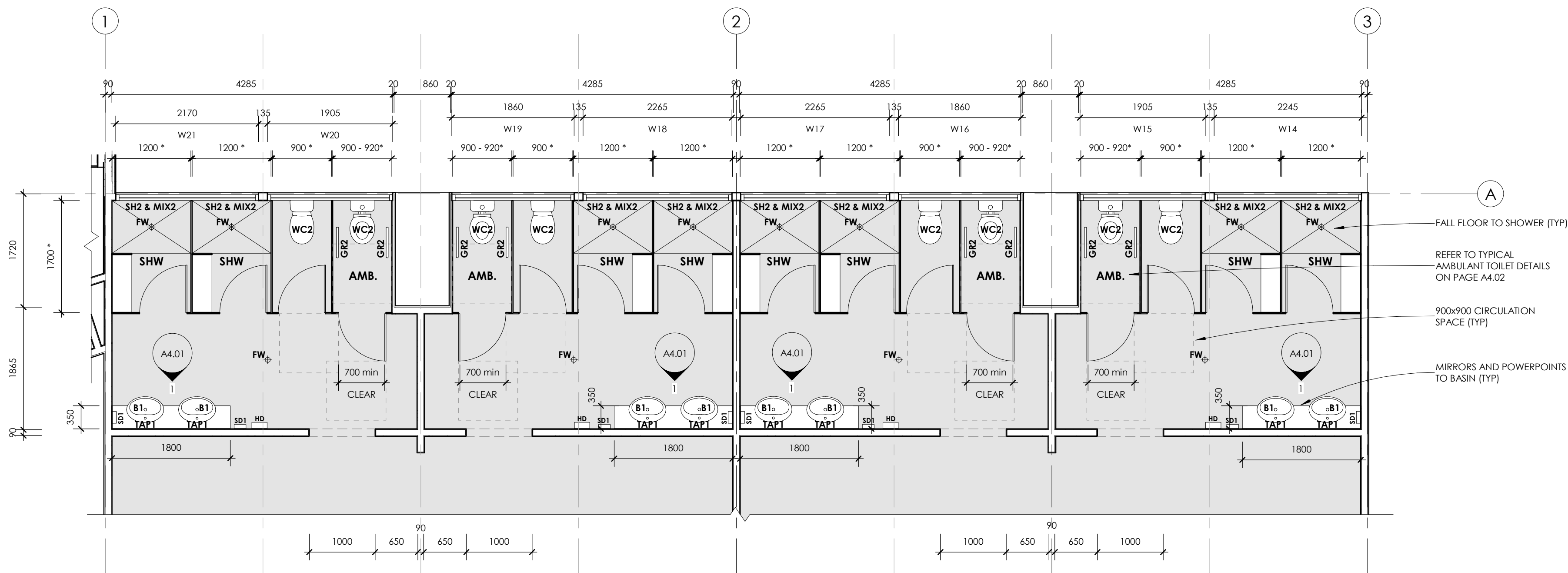
DOOR AND WINDOW SCHEDULE										
REF.	LOCATION	SIZE		GLAZING	OPERATION	MATERIAL	KEY LOCKABLE	SELF CLOSER	DOOR STOP	NOTES
		HEIGHT	WIDTH							
D01	UMPIRE 2	2040	920		SINGLE SWING DOOR	SOLID CORE TIMBER	X	X	X	
D02	PUBLIC AMENITIES HALLWAY	2040	920		SINGLE SWING DOOR	SOLID CORE TIMBER	X	X	X	
D03	PUBLIC AMENITIES HALLWAY	2040	920		SINGLE SWING DOOR	HOLLOW CORE	X	X	X	FIRE DOOR TO ACHIEVE -/60/30
D04	UNISEX ACC. BATHROOM	2040	920		SINGLE SWING DOOR	HOLLOW CORE	X	X	X	
D05	FEMALE PUBLIC TOILETS	2040	770		SINGLE SWING DOOR	HOLLOW CORE	X	X	X	
D06	MALE PUBLIC TOILETS	2040	770		SINGLE SWING DOOR	HOLLOW CORE	X	X	X	
D07	CHANGE ROOM 1	2040	920		SINGLE SWING DOOR	SOLID CORE TIMBER	X	X	X	
W01	CHANGE ROOM 1	600	1632	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W02	CHANGE ROOM 1	600	1632	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W03	CHANGE ROOM 1	600	1175	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W20	CHANGE ROOM 1 - AMENITIES	600	1906	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W21	CHANGE ROOM 1 - AMENITIES	600	2172	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
D08	CHANGE ROOM 2	2040	920		SINGLE SWING DOOR	SOLID CORE TIMBER	X	X	X	
W04	CHANGE ROOM 2	600	1175	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W05	CHANGE ROOM 2	600	1655	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W06	CHANGE ROOM 2	600	1655	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W18	CHANGE ROOM 2 - AMENITIES	600	2265	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W19	CHANGE ROOM 2 - AMENITIES	600	1861	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
D09	CHANGE ROOM 3	2040	920		SINGLE SWING DOOR	SOLID CORE TIMBER	X	X	X	
W07	CHANGE ROOM 3	600	1655	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W08	CHANGE ROOM 3	600	1655	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W09	CHANGE ROOM 3	600	1175	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W16	CHANGE ROOM 3 - AMENITIES	600	1861	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W17	CHANGE ROOM 3 - AMENITIES	600	2265	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
D10	CHANGE ROOM 4	2040	920		SINGLE SWING DOOR	SOLID CORE TIMBER	X	X	X	
W10	CHANGE ROOM 4	600	1175	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W12	CHANGE ROOM 4	600	1632	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W13	CHANGE ROOM 4	600	1632	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W14	CHANGE ROOM 4 - AMENITIES	600	2243	2100	SINGLE	FIXED WINDOW	ALUMINIUM			
W15	CHANGE ROOM 4 - AMENITIES	600	1906	2100	SINGLE	FIXED WINDOW	ALUMINIUM			



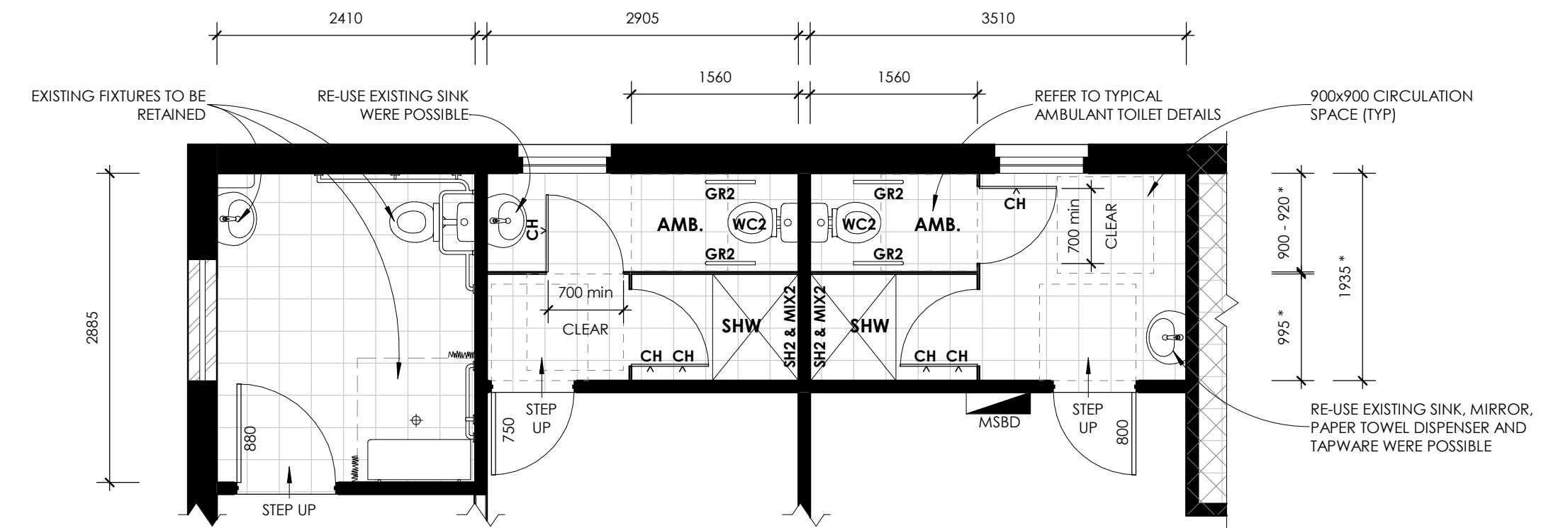
PROPOSED SECTION D-D
1 : 100

TENDER ISSUE

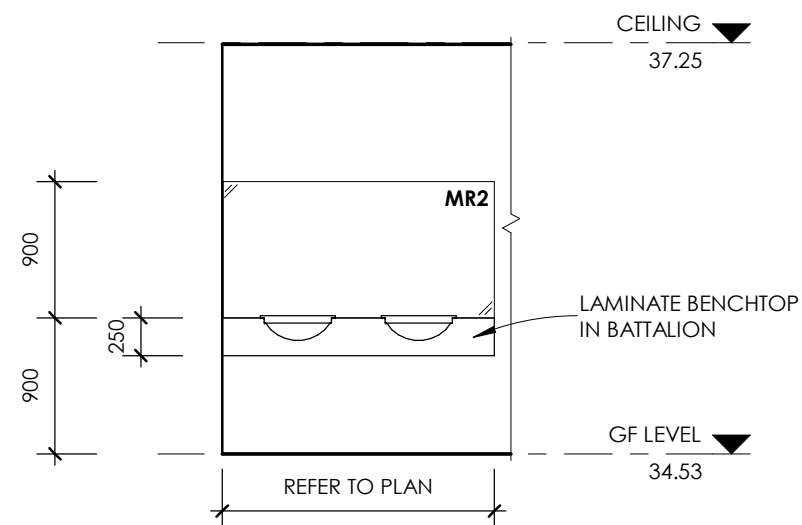
B 29/10/21 TENDER ISSUE	
A 08/09/21 PRELIM. TENDER DOCS	
PROJECT	
TENDER DOCUMENTATION SUMNER PARK PAVILLION ALISTER STREET, BRUNSWICK EAST	
CLIENT	
MORELAND CITY COUNCIL	
SHEET	
DATE	08/09/21
JOB NUMBER	12113
DRAWN BY	MV
CHECKED BY	MH
TO SCALE ON	A1
DRAWING NUMBER	A3.02
VERSION NUMBER	B
CBD	
CONSTRUCTION & BUILDING DESIGN PTY LTD	
1 BELL STREET BRUNSWICK VICTORIA 3056	
PH 03 9380 8855	
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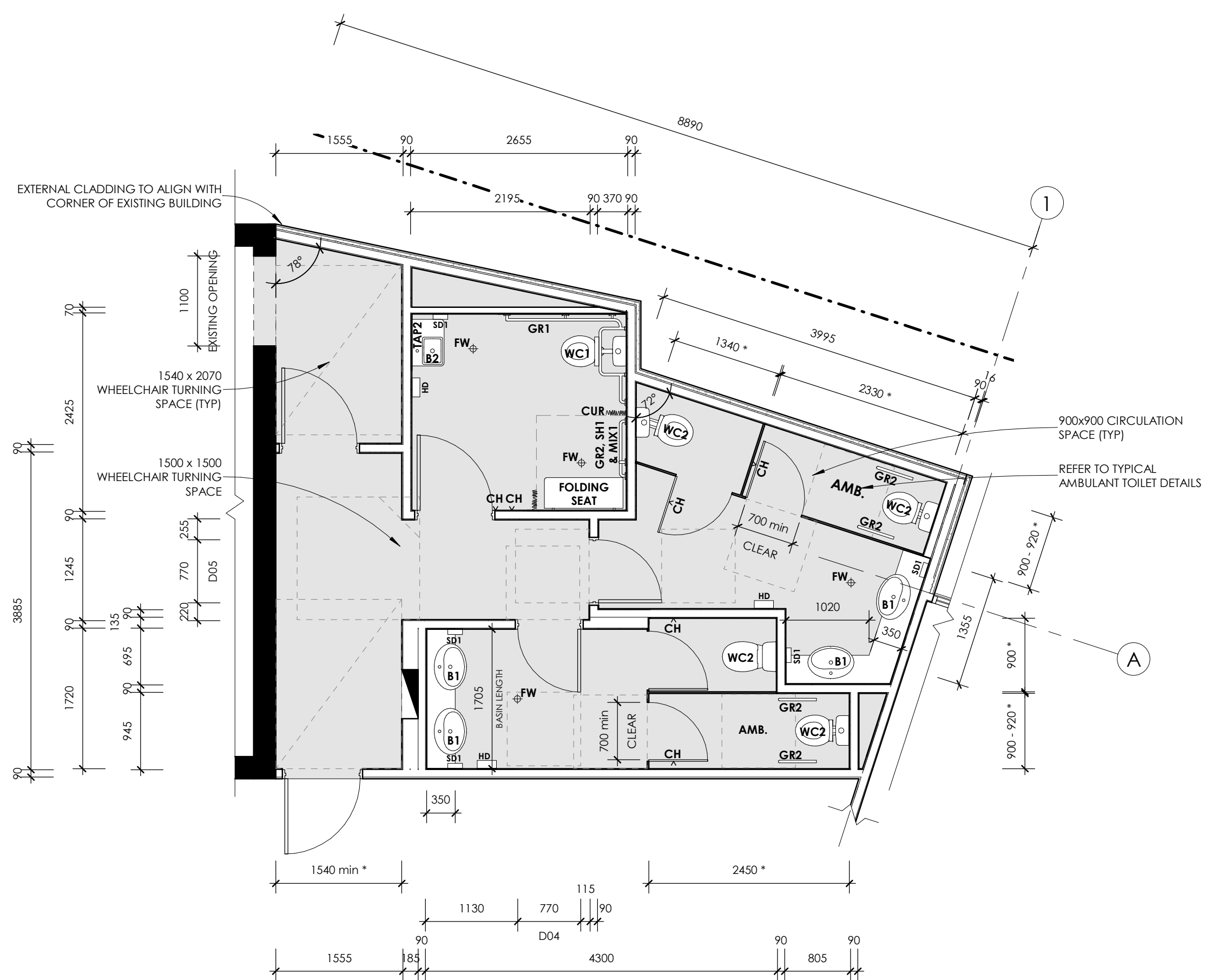
CHANGE ROOM AMENTIES LAYOUT
1 : 50



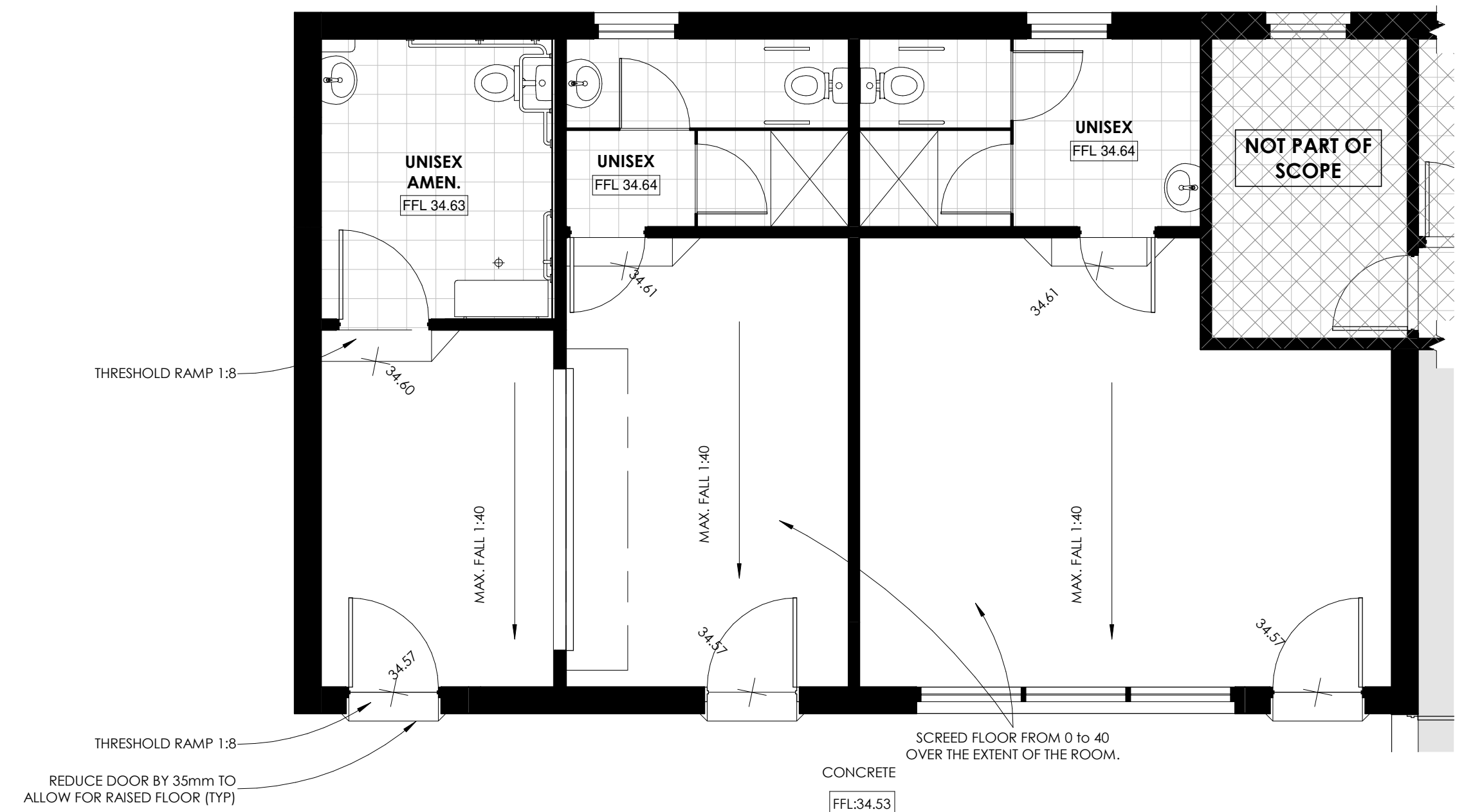
UMPIRE AMENITIES LAYOUT
1 : 50



TYPICAL AMENTIES
SINK ELEVATION
1 : 50
SIMILAR FOR MALE & FEMALE
PUBLIC TOILETS



PUBLIC AMENITIES LAYOUT
1 : 50



TENDER OPTION 3
RAISED FLOOR IN EXISTING BUILDING
1 : 50

* DIMENSIONS WITH AN ASTERISK ARE TO FINISHED WALLS.
IF WALL THICKNESS ARE INCREASED ENSURE MINIMUM
DIMENSIONS ARE MAINTAINED.

AMENITIES NOTES:
UNISEX ACCESSIBLE BATHROOM DETAILS REFER TO PAGE A4.02.
WATERPROOFING TO COMPLY WITH AS 3740-2010 AND F1.7 FROM NCC VOL. 1.
SHOWERS TO HAVE FALL OF 1 IN 80 TO 1 IN 100 TO FLOOR WASTE
IN AN EMERGENCY DOORS MUST BE READILY REMOVABLE FROM THE OUTSIDE OF A SANITARY COMPARTMENT AND THE LATCH MECHANISM SHALL BE OPENABLE FROM THE OUTSIDE. DOORS SHALL BE PROVIDED WITH AN IN-USE INDICATOR AND A SNIB CATCH.
BRAILLE SIGNAGE TO AMENITY DOOR AS PER BRAILLE SCHEDULE ON PAGE A2.02
FOR DESCRIPTION OF ITEM CODES REFER TO FITTINGS AND FIXTURES SCHEDULE (SCHED01).
FEMALE/UNISEX TOILETS MUST BE PROVIDED WITH A MEANS OF DISPOSAL OF SANITARY TOWELS.
COAT HOOKS MUST BE INSTALLED AT A HEIGHT BETWEEN 1200mm AND 1350mm FROM THE FINISHED FLOOR LEVEL. REFER TO THE FLOOR SPECIFICATION ON PAGE A2.04

TENDER ISSUE

B 29/10/21 TENDER ISSUE	
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